



# UPLANDS

## QUARTERLY UPDATE

February 22, 2024

**MEET THE TEAM**  
INTRODUCTIONS



**MARCUS PACHNER**  
The Pachner Company



**BONNIE NIZIOLEK**  
Peak Development



**TODD JOHNSON**  
Terra Forma Solutions

# AGENDA

- 1 MEETING GUIDELINES
- 2 VICINITY MAP
- 3 NEIGHBORHOOD PLANNING PROCESS
- 4 MASTER ENGINEERING REVIEW PROCESS AND CONSTRUCTION
- 5 NEIGHBORHOOD ENGINEERING REVIEW PROCESS AND CONSTRUCTION
- 6 QUESTIONS WE'VE HEARD
- 7 Q&A

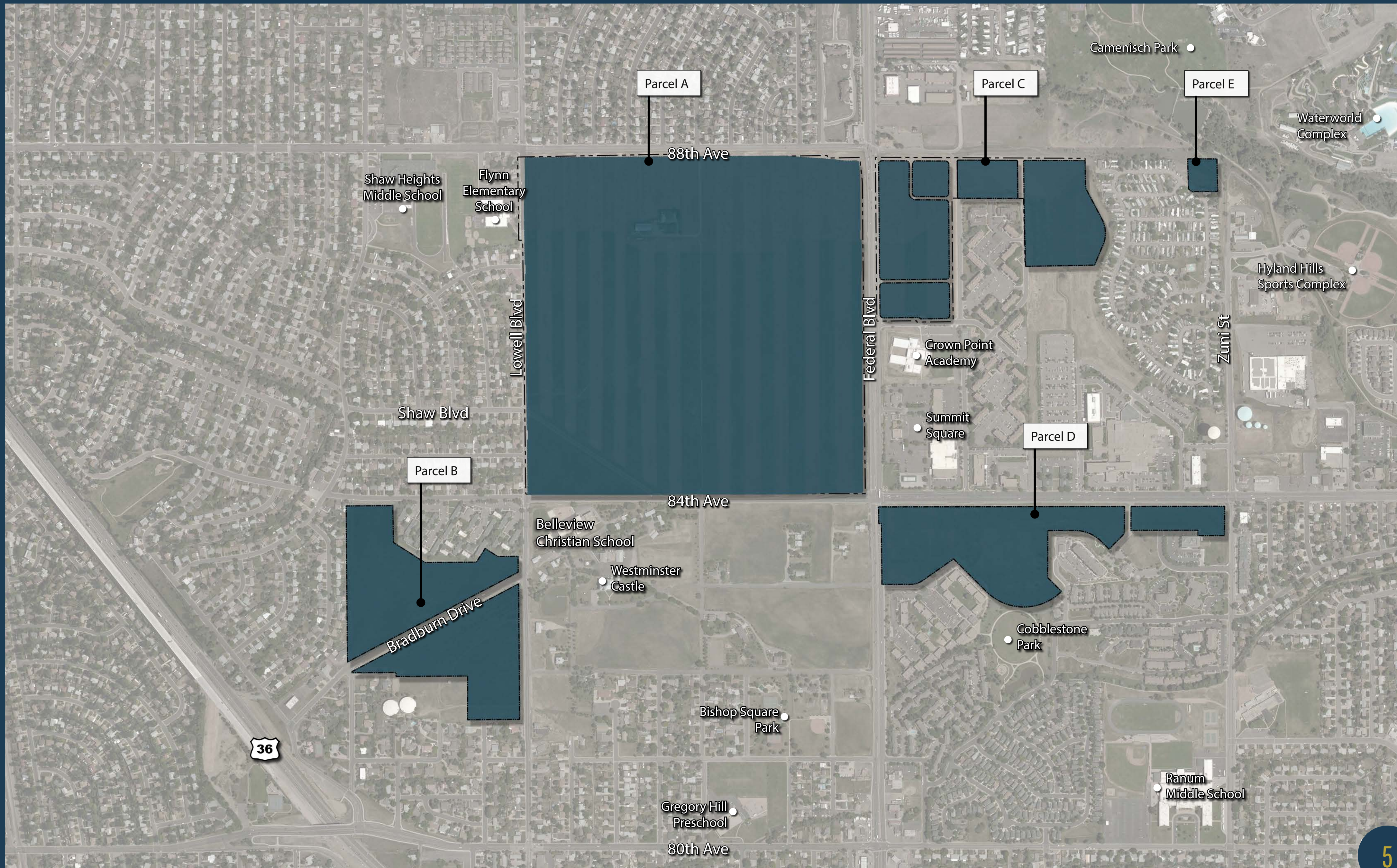


# MEETING GUIDELINES FOR SUCCESS

- **THANK YOU, CROWN POINTE.** Be respectful of staff at Crown Pointe, who are working late to accommodate us, the meeting will end promptly at 6:30PM. We'll need everyone to exit the school at that point.
- If individual follow-up is needed, please email us at: [info@UplandsColorado.com](mailto:info@UplandsColorado.com)
- **Q&A OPPORTUNITY:** There will be ample opportunity for Q&A, however we will only take one question at a time to ensure everyone has a chance to participate.
- We will not entertain a discussion about whether the Uplands community will be moving forward, as we have already received some of our construction permits and have broken ground.
- **LET'S KEEP IT RESPECTFUL.** We will not tolerate disruptions or disrespectful behavior and those who are not able to participate in a constructive way may be asked to leave.










# VICINITY MAP



# NEIGHBORHOOD PLANNING PROCESS

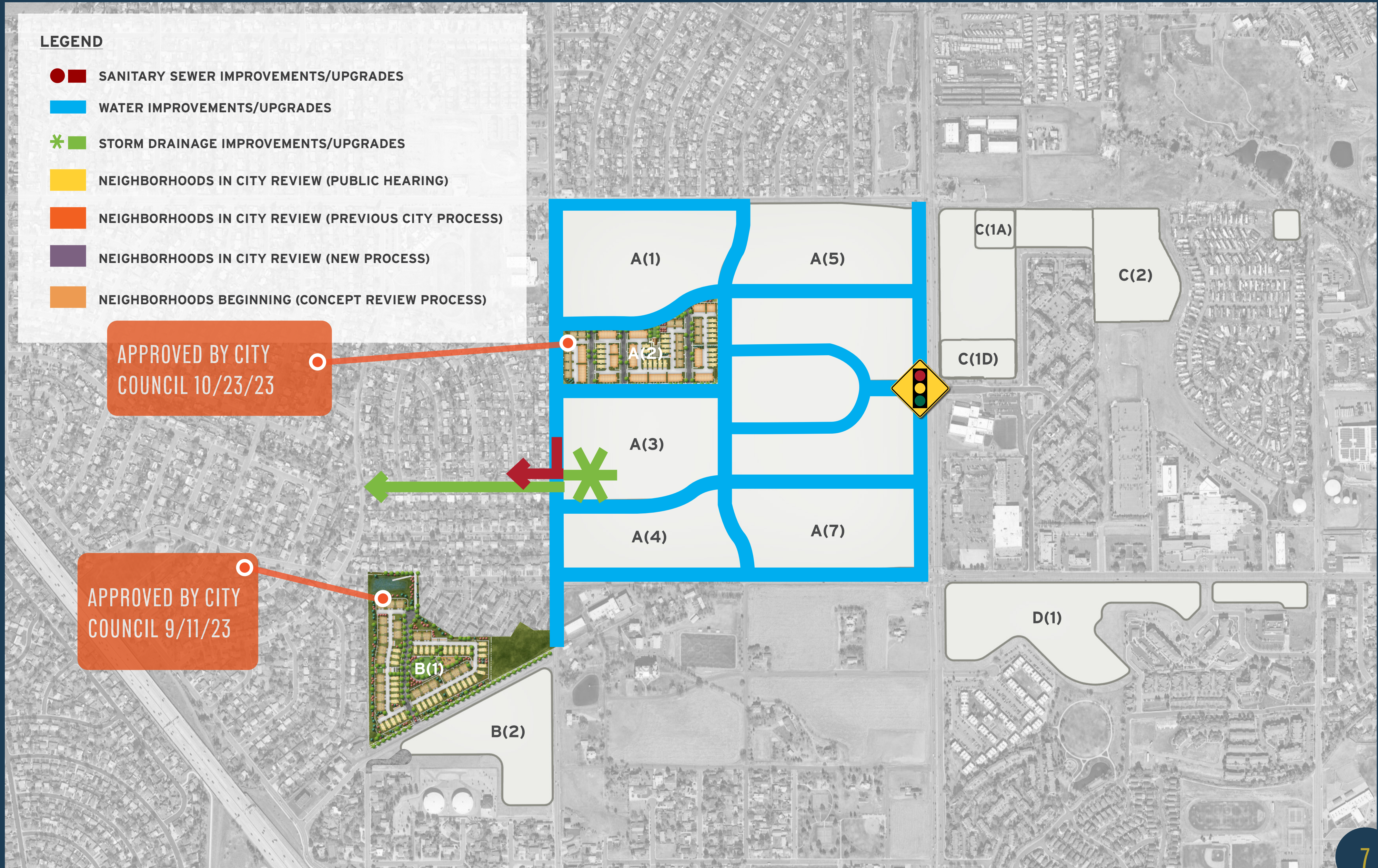
# NEIGHBORHOOD UPDATE

## LEGEND

-  SANITARY SEWER IMPROVEMENTS/UPGRADES
-  WATER IMPROVEMENTS/UPGRADES
-  STORM DRAINAGE IMPROVEMENTS/UPGRADES
-  NEIGHBORHOODS IN CITY REVIEW (PUBLIC HEARING)
-  NEIGHBORHOODS IN CITY REVIEW (PREVIOUS CITY PROCESS)
-  NEIGHBORHOODS IN CITY REVIEW (NEW PROCESS)
-  NEIGHBORHOODS BEGINNING (CONCEPT REVIEW PROCESS)

APPROVED BY CITY COUNCIL 10/23/23

APPROVED BY CITY COUNCIL 9/11/23



# CITY COUNCIL APPROVED PA-B(1) NEIGHBORHOOD PLAN



## LAND USE DATA CHART

- » 82 homes
  - 38 SFD homes
  - 44 paired homes
- » 4.97 du/ac
- » 32'-2" max building height



# CITY COUNCIL APPROVED PA-A(2) NEIGHBORHOOD PLAN










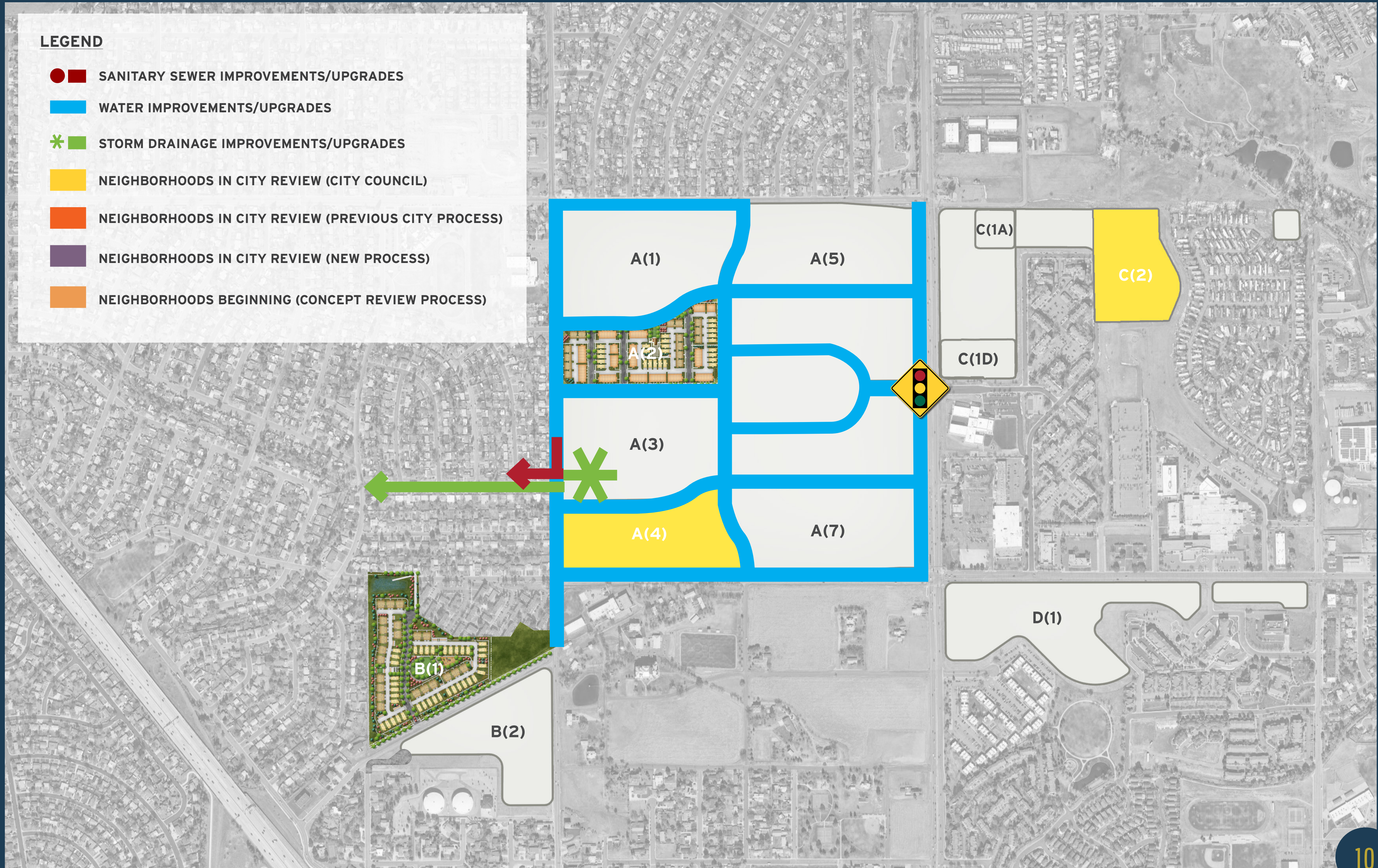
## LAND USE DATA CHART

- » 135 homes
  - 25 SFD homes
  - 30 SFA (paired homes)
  - 80 SFA (townhomes)
- » 9.78 du/ac
- » 35' max building height

# NEIGHBORHOOD UPDATE

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# PA-A(4) HEADING TO PUBLIC HEARING 3/25/24



## LAND USE DATA CHART

- » 125 homes
  - 14 Single-Family Detached Tuckunder
  - 14 Single-Family Detached
  - 17 Single-Family Attached Townhomes
  - 38 Single-Family Attached Tuckunder Townhomes
  - 42 Single-Family Attached (Paired Homes)
- » 8.93 DU/AC
- » 34'-7 1/4" max building height



# PA-C(2) HEADING TO PUBLIC HEARING

- » 13.77 acre site on Parcel PA-C(2)
- » 31% 1BR, 53% 2BR, 16% 3BR
- » Approximately 250 units
- » 40-80% AMI which includes Occupational Groups of Clay Street multi-use path connecting to Hyland Hills open space
  - Construction workers
  - Teachers
  - Librarians
  - Designers and artists
  - Bank tellers
  - Nurses
  - Firemen, policemen and paramedics










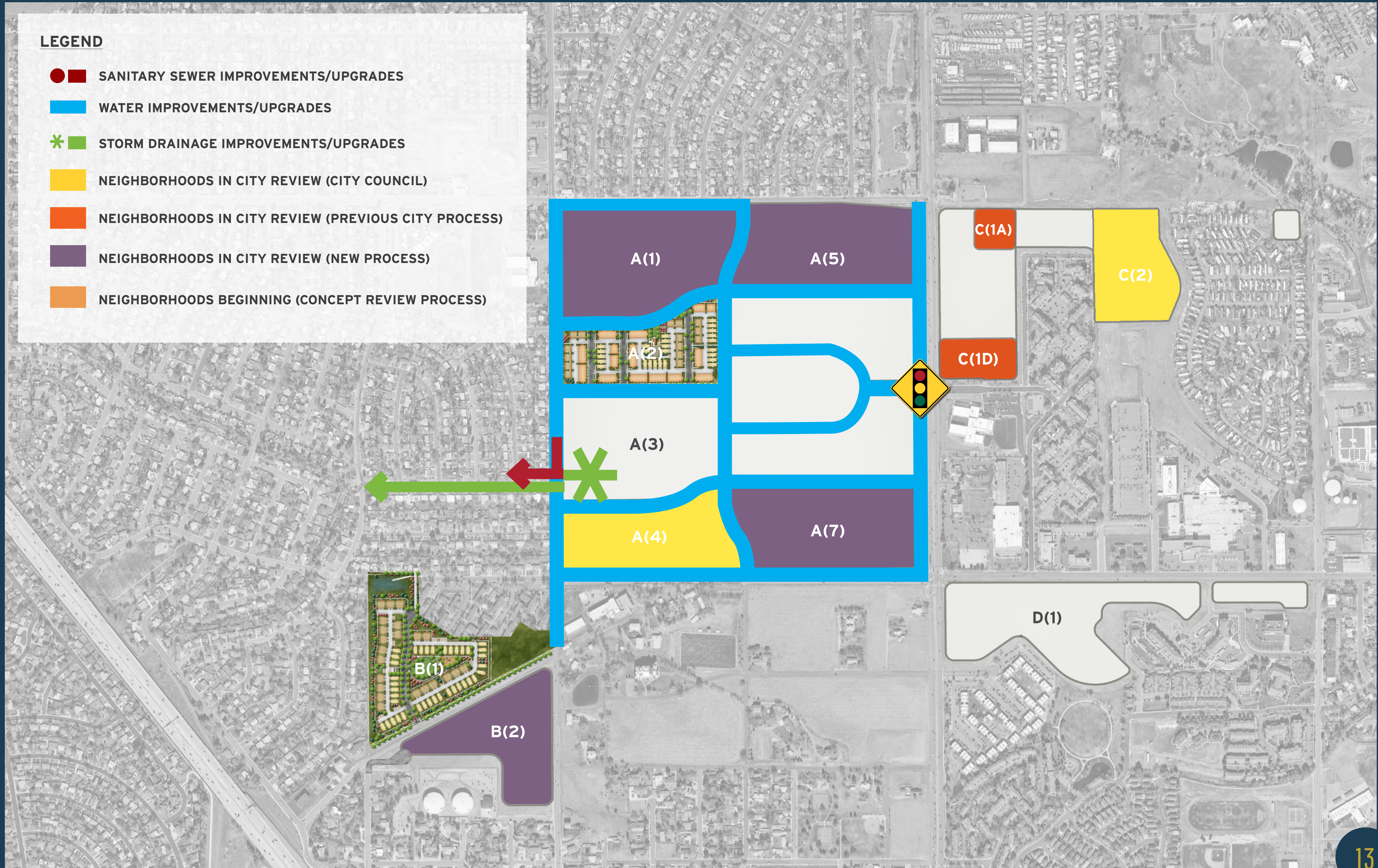
**PLANNING COMMISSION**  
2/27/24

**CITY COUNCIL**  
4/8/24

# NEIGHBORHOOD UPDATE







## LEGEND

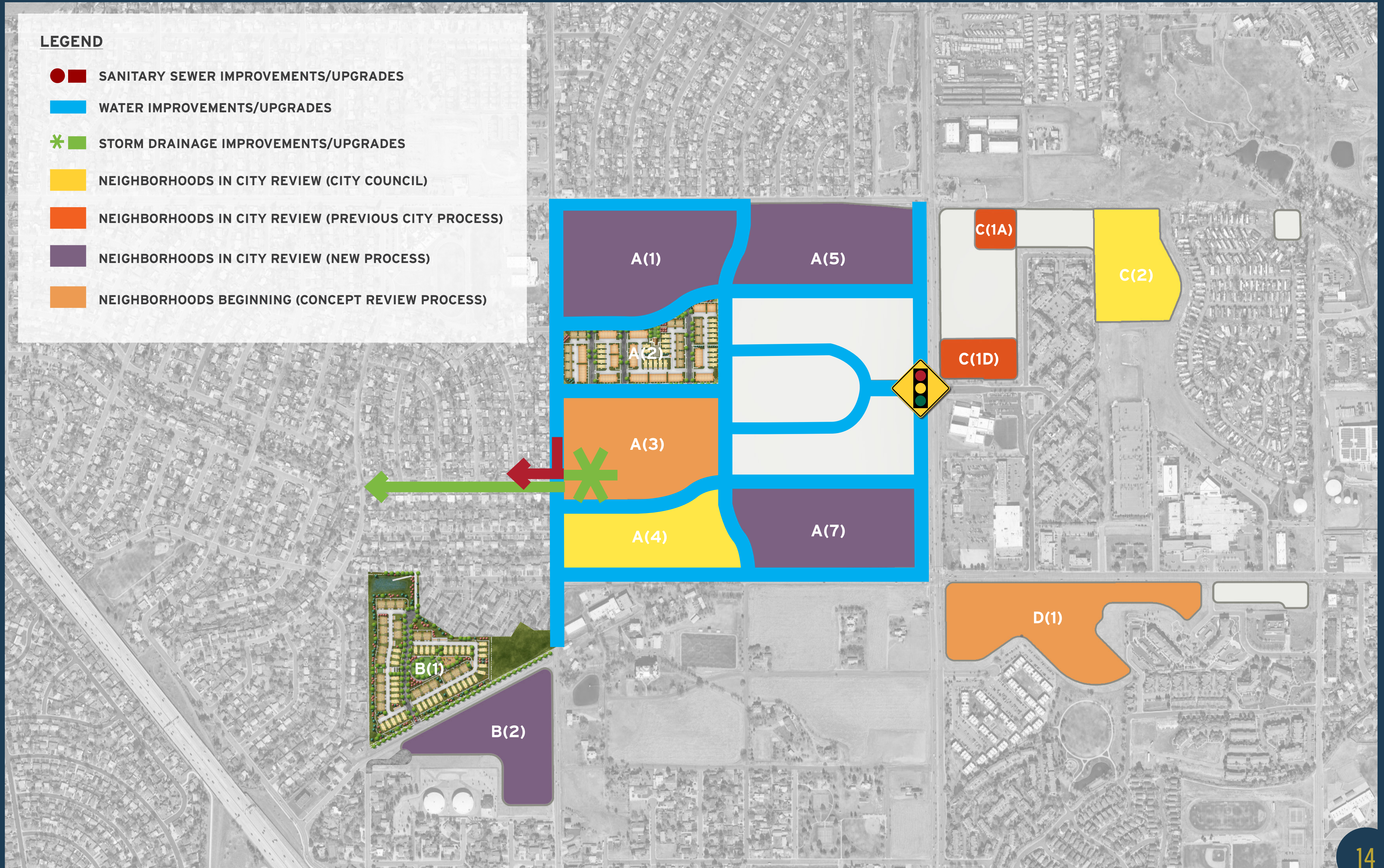
-  SANITARY SEWER IMPROVEMENTS/UPGRADES
-  WATER IMPROVEMENTS/UPGRADES
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# NEIGHBORHOOD UPDATE

## LEGEND

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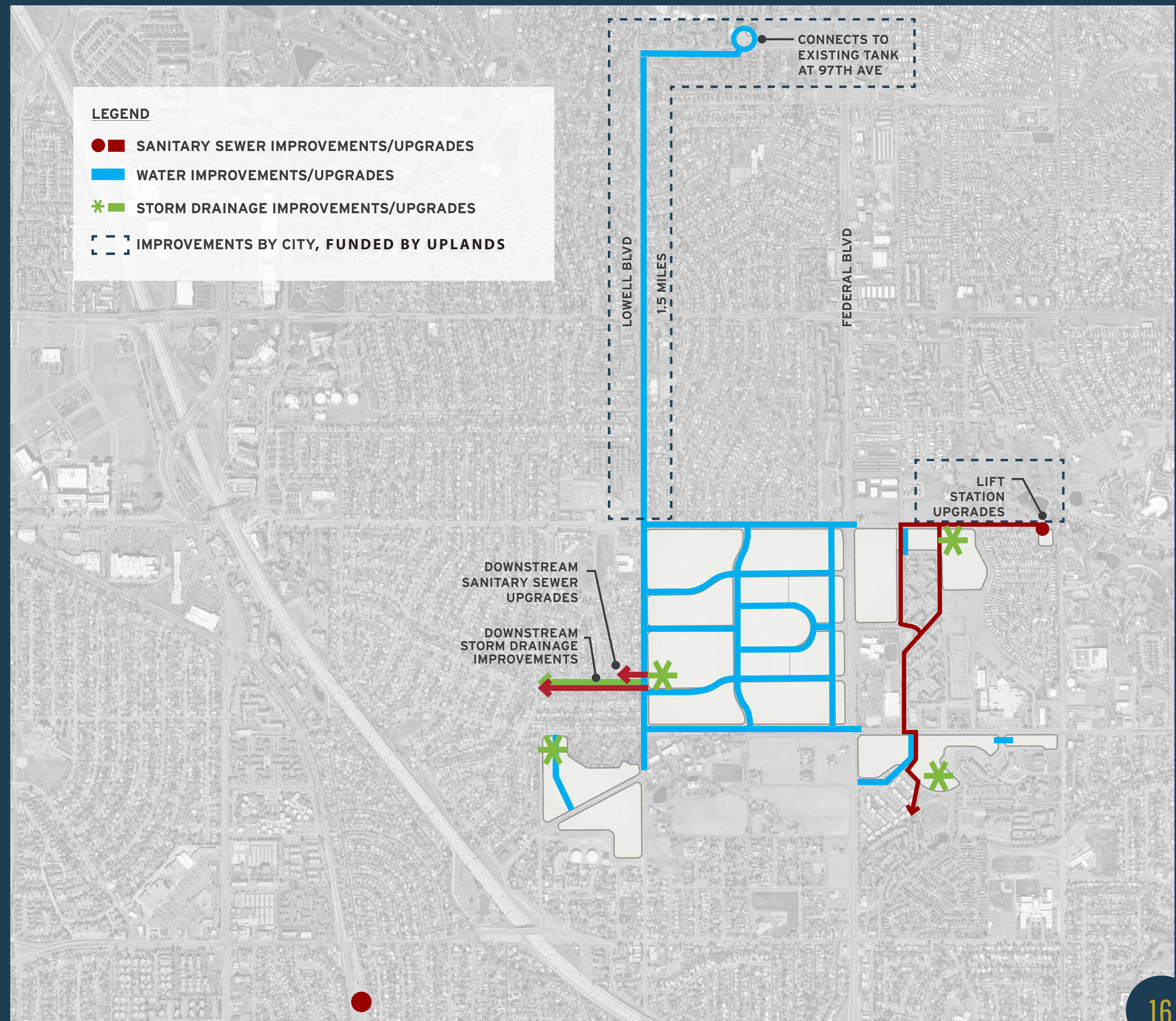
# **MASTER ENGINEERING REVIEW PROCESS AND CONSTRUCTION**

# PRELIMINARY DEVELOPMENT PLAN

## Public Improvements

Uplands provides \$40 million in infrastructure improvements (sewer, water, storm drainage, roads, etc), including:

- Fixes downstream deficiencies, upgrades/improves emergency conditions at existing lift station and provides new connections for the community
- Upsizes, strengthens and supplements water lines and fire needs
- Establishes and significantly reduces downstream stormwater detention and adds water quality to all parcels





# PRELIMINARY DEVELOPMENT PLAN

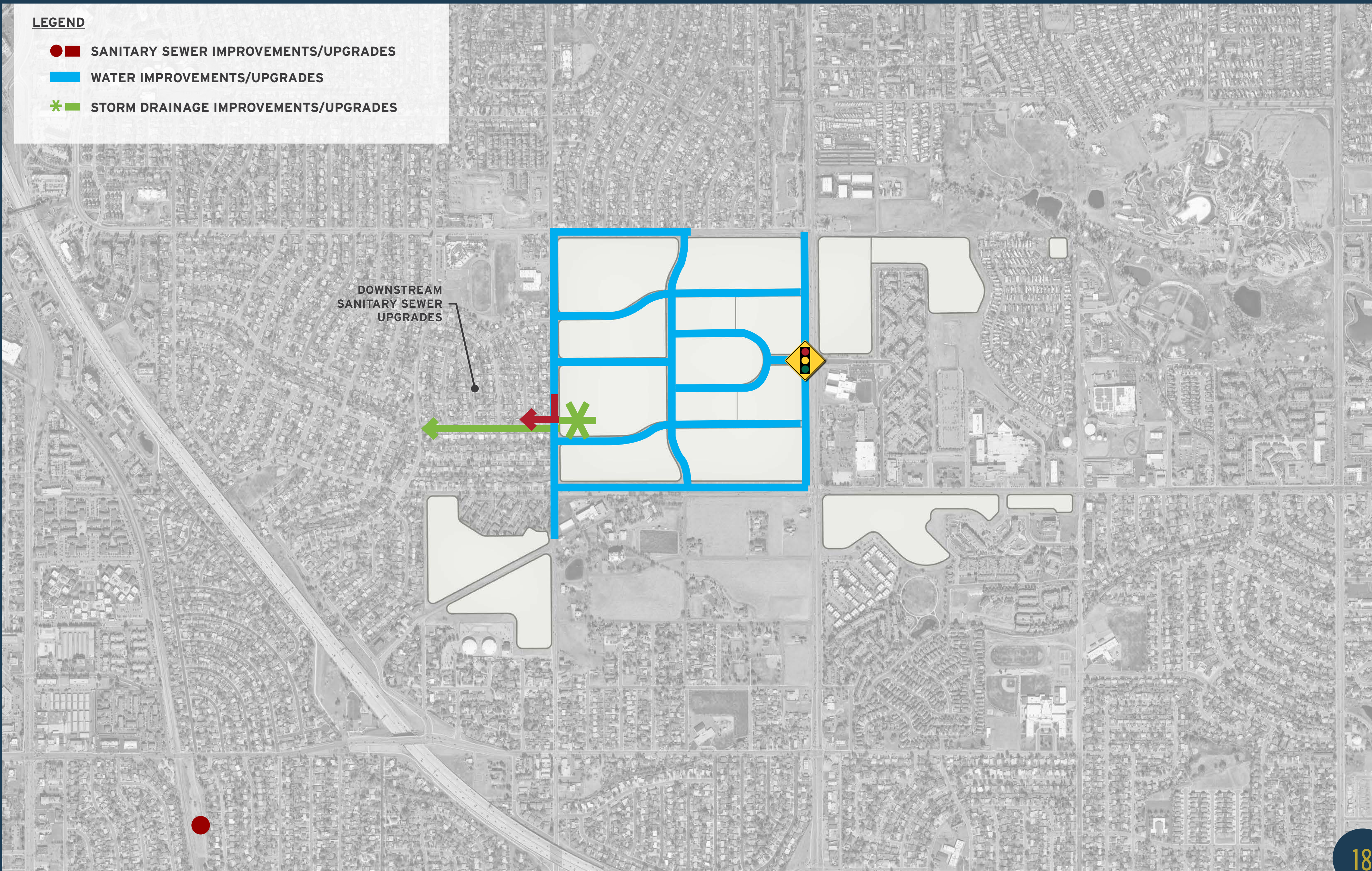
## Public Improvements

### Storm Drainage

- Shaw Boulevard and Circle Drive



# INFRASTRUCTURE UPDATE

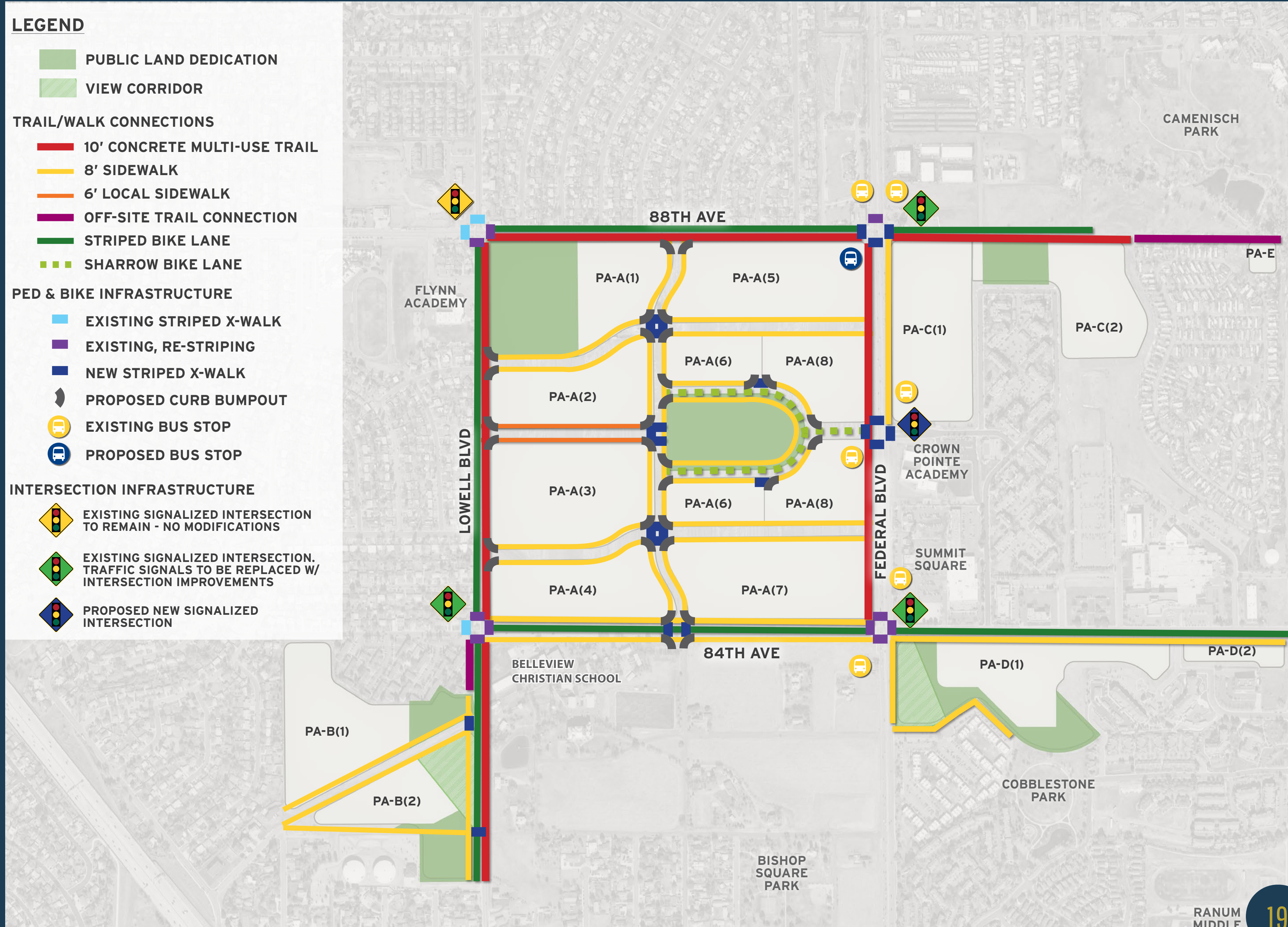


# PRELIMINARY DEVELOPMENT PLAN

## Bike and Pedestrian Connectivity

Uplands provides connections for existing and future residents to:

- Existing schools
- Existing bus stops
- Existing and proposed park and recreational amenities
- Existing and proposed businesses and services



# UPLANDS UPDATE

## Public Land Dedication

11.00  
ACRES  
PARCEL A: NW

10.00  
ACRES  
PARCEL A: CENTRAL

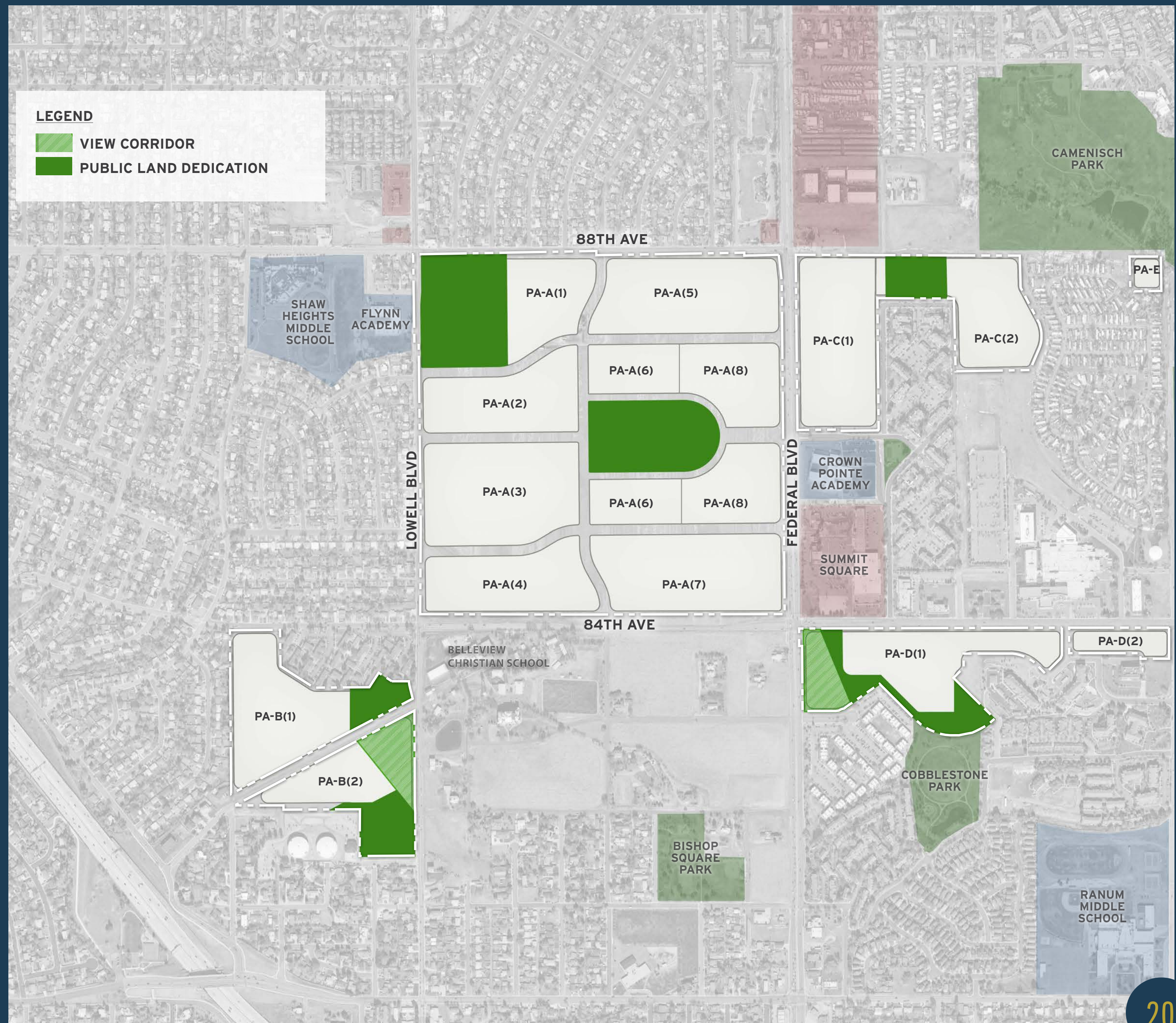
6.06  
ACRES  
PARCEL B

3.00  
ACRES  
PARCEL C

4.24  
ACRES  
PARCEL D

34.30  
ACRES  
TOTAL PUBLIC LAND DEDICATION

6.35  
ACRES  
VIEW CORRIDOR



# DEVELOPMENT APPLICATIONS SUMMARY

## DOCUMENTS APPROVED THROUGH PUBLIC PROCESS

- ✓ **Preliminary Development Plan**
- ✓ **Master / Phase I Drainage Report**
- ✓ **Master Utility Study**
- ✓ **Traffic Impact Study**
- ✓ **Phase I Environmental Site Assessment**
- ✓ **Phase II Environmental Site Assessment**
- ✓ **Master Official Development Plan – Parcel A**
- ✓ **Phase II Drainage Report – Parcel A**

## ADMINISTRATIVE APPROVAL DOCUMENTS

- ✓ **Onsite Grading & Erosion Control - Approved**
- ➔ **Regional Pond & Shaw Boulevard Outfall**
  - Nearing CoW Approval
  - Need final FEMA review of CLOMR Application
- ➔ **Parcel A Infrastructure Construction Documents**
  - Partially Approved, Nearing Full Approval
  - Need final FEMA review of CLOMR Application
- ➔ **Federal Boulevard Construction Documents**
  - Nearing CoW Approval
  - Nearing CDOT Approval
  - Need final FEMA review of CLOMR Application
- ➔ **Phase III Drainage Report**
- ➔ **Final Traffic Impact Study**
- ➔ **Filing No. 1 Final Plat**

# PHASING/TIMING

February Update	Spring '24	Summer '24	Fall '24	Winter '24/'25	Spring '25	Summer '25	Fall '25	Winter '25	Spring '26
<b>Earthwork / Grading</b> Onsite	[Orange bar spanning Spring '24 to Summer '24]								
<b>Lowell Blvd</b> Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities Traffic Signals 84th and 88th	[Gantt chart for Lowell Blvd showing various construction phases from Spring '24 to Spring '25]								
<b>88th Avenue (West of Federal)</b> Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities	[Gantt chart for 88th Avenue showing various construction phases from Spring '24 to Spring '25]								
<b>84th Avenue</b> Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities	[Gantt chart for 84th Avenue showing various construction phases from Spring '24 to Spring '25]								
<b>Federal Blvd</b> Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities Traffic Signals	[Gantt chart for Federal Blvd showing various construction phases from Spring '24 to Spring '25]								
<b>Onsite Infrastructure(Multiple Phases)</b> Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities	[Gantt chart for Onsite Infrastructure showing various construction phases from Spring '24 to Spring '25]								
<b>Planning Area B1</b> Grading Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities	[Gantt chart for Planning Area B1 showing various construction phases from Spring '24 to Spring '25]								
<b>Bradburn</b> Grading Utility Construction Curb/Gutter/Sidewalks Paving Street Lights/Dry Utilities	[Gantt chart for Bradburn showing various construction phases from Spring '24 to Spring '25]								

Weather Delays may push all activities further into Summer/Fall of 2025

# PHASING/TIMING



## MARCH 2024

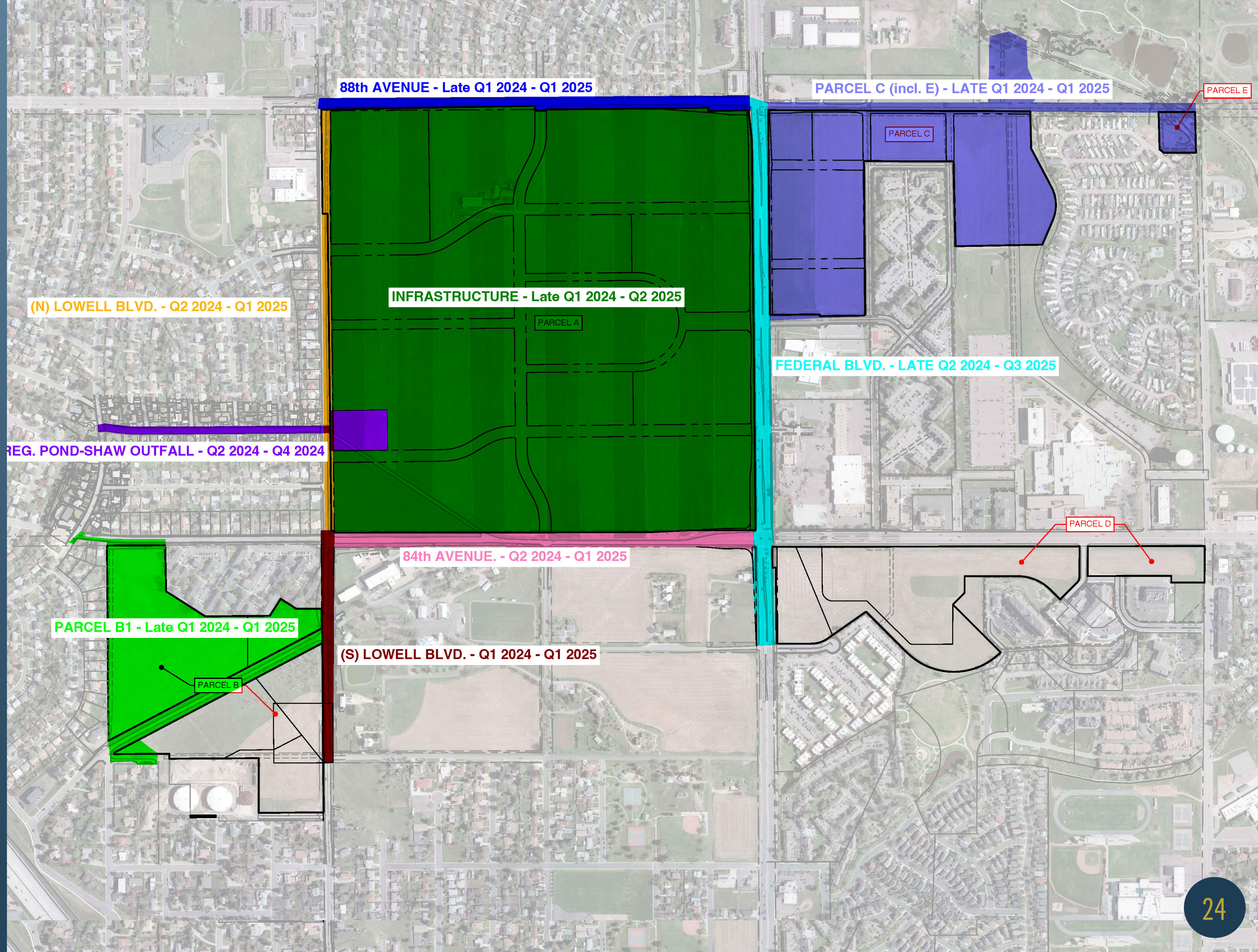
- » Plan approvals wrapping up and Notice to Proceed for Contractors
- » Parcel A internal utility (sanitary sewer, storm drainage, water) infrastructure starting and continuing throughout the year.
- » Utility work within 84th, 88th, Lowell and Federal will start.
- » Some roadway widening and improvements will occur as weather allows.
- » City and Uplands is continuing to work on focused improvements at 84th and Lowell to expedite intersection improvements.



## WINTER/SPRING 2024

- » Overall Grading operations in A should wrap up around May.
- » Grading and Erosion Control operations in B1(Northern area) are projected to start late February/March.
- » Perimeter Roadway widening and improvements continuing.
- » Parcel A internal infrastructure improvements continuing.

# PHASING/TIMING





# GRADING OPERATIONS

Initial erosion and sediment control devices are put in place and vegetation is removed and stockpiled.



# GRADING OPERATIONS

The grading operation cuts the high areas of the site and fills in the lower areas to provide a stabilized platform **conforming to City street criteria and future home elevations**. Sub-excavation is also performed at the same time.

This exercise removes substandard or lower performing material below the built areas, treats the material, usually adding water and additional soil compaction to **provide a platform that performs better for future improvements and homes**.

# GRADING OPERATIONS

Example of Subexcavation, material removed six to 10' below foundation levels and replaced.

# GRADING OPERATIONS

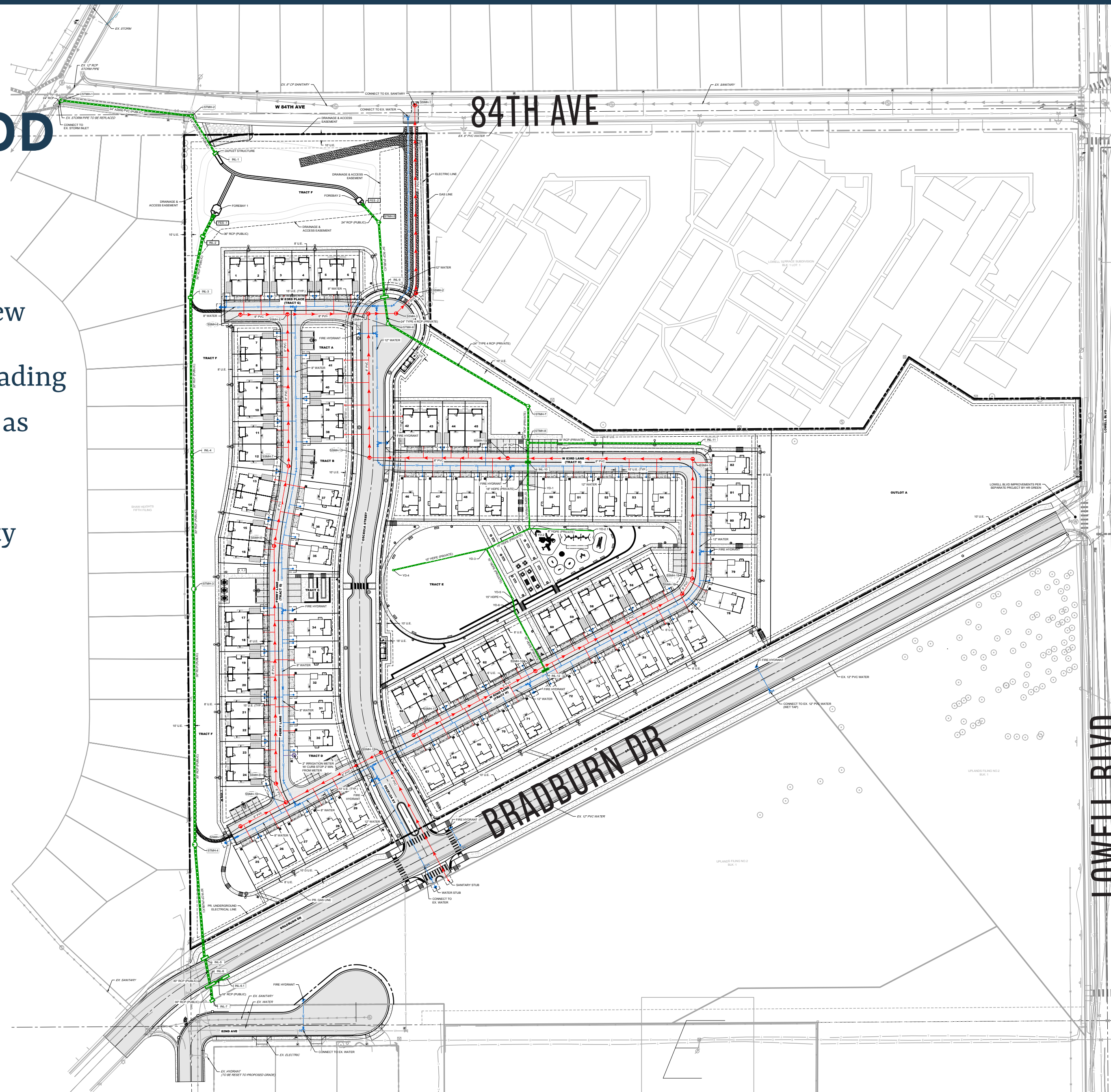


Final grading operations leaves the site in a interim condition ready for utility and roadway improvements, the lots ready to build or the open space areas ready for revegetation.

# **NEIGHBORHOOD ENGINEERING REVIEW PROCESS AND CONSTRUCTION**

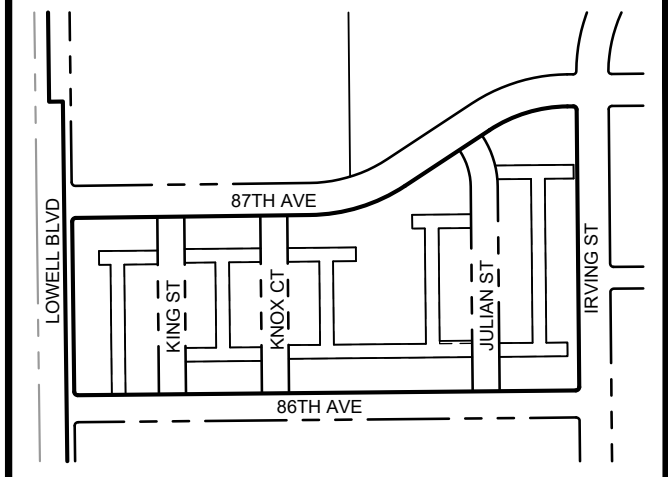
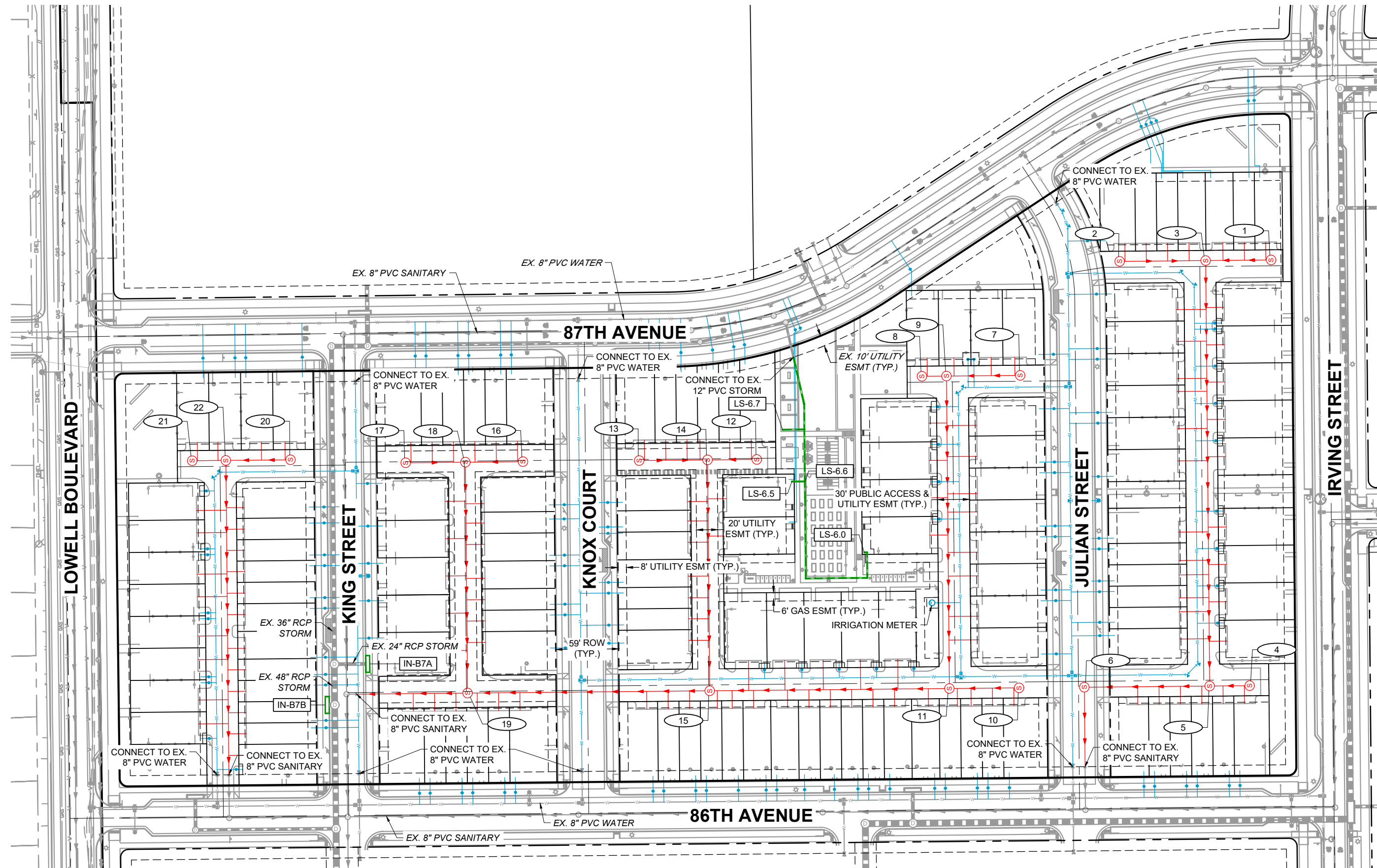
# PA-B(1) NEIGHBORHOOD

- ODP - approved
- Grading Plans - in City review
- Grading may begin when grading plans are approved/as early as March 2024
- Infrastructure Plans - in City review



# PA-A(2) NEIGHBORHOOD

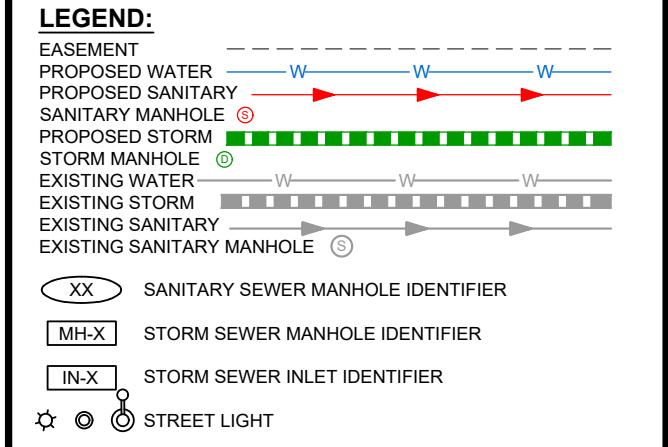
- ODP - Approved
- Grading Plans - Approved
- Grading Is Complete
- Infrastructure Plans - in City Review



KEYMAP

NO.	DATE	BY	REVISION DESCRIPTION

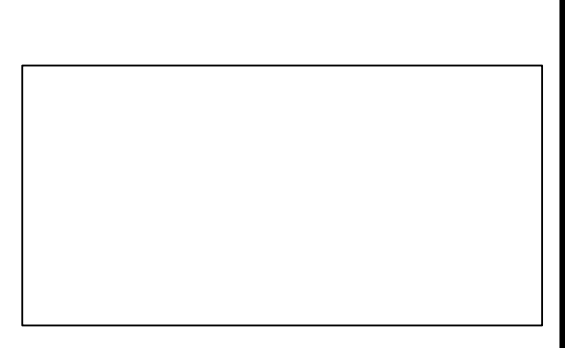
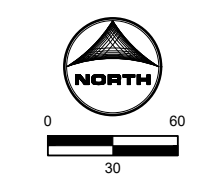
- CONSTRUCTION NOTES:**
- ALL CONSTRUCTION WILL CONFORM TO CITY OF WESTMINSTER "STANDARDS AND SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS", LATEST REVISION.
  - ALL INLETS SHALL HAVE A MINIMUM 3" FROM THE OUTSIDE OF PIPE TO INSIDE FACE OF INLET WHICH MAY REQUIRE MODIFIED DIMENSIONS TO THE STANDARD PRECAST BOX. CONTRACTOR TO COORDINATE MODIFIED BOX DIMENSIONS WITH MANUFACTURER.
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  - ALL NEW UNDERGROUND FACILITIES, INCLUDING LATERALS, MUST BE ELECTRONICALLY LOCATABLE WHEN INSTALLED.



HR GREEN - DENVER  
5613 DTC PARKWAY  
SUITE 950  
DENVER CO 80111  
PHONE: 720.602.4998  
FAX: 844.273.1057



CONSTRUCTION DOCUMENTS  
OVERALL UTILITY PLAN  
UPLANDS - FILING NO. 1 - BLOCK 2  
VPDF UPLANDS, LLC  
WESTMINSTER, COLORADO



BAR IS ONE INCH ON OFFICIAL DRAWINGS  
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

DRAWN BY: JTW  
APPROVED: RWL  
JOB DATE: 10/26/2023  
JOB NO: 210742

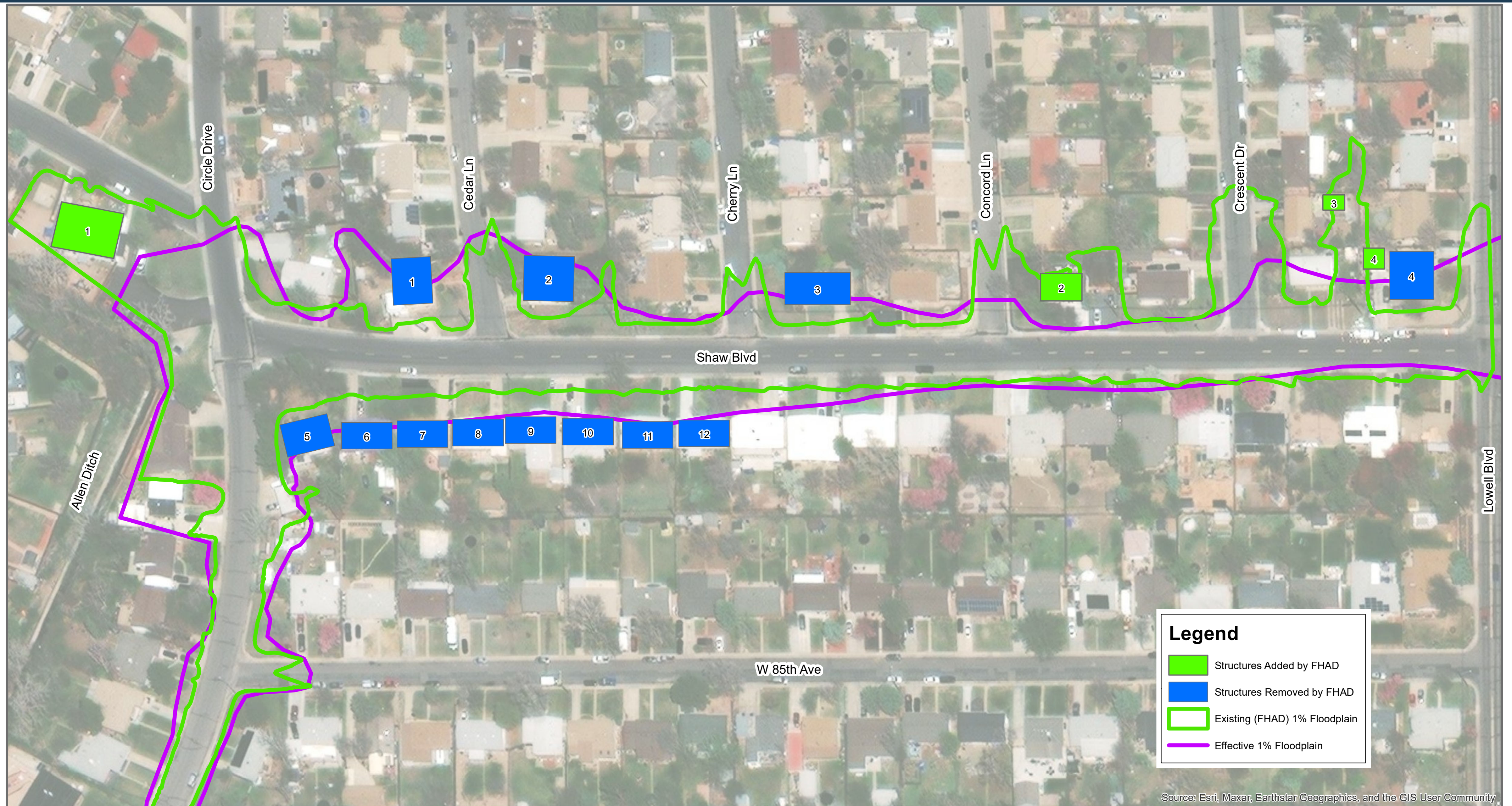
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OUP1

eTrakit Permit #ENG 23-0030

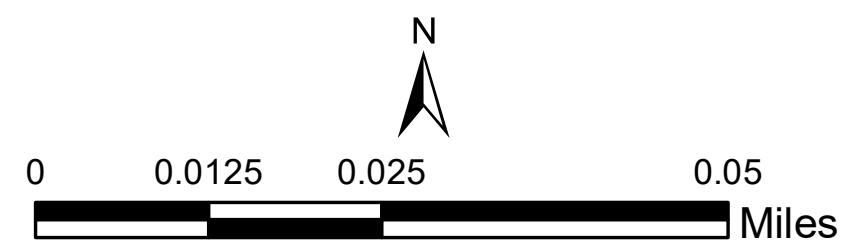
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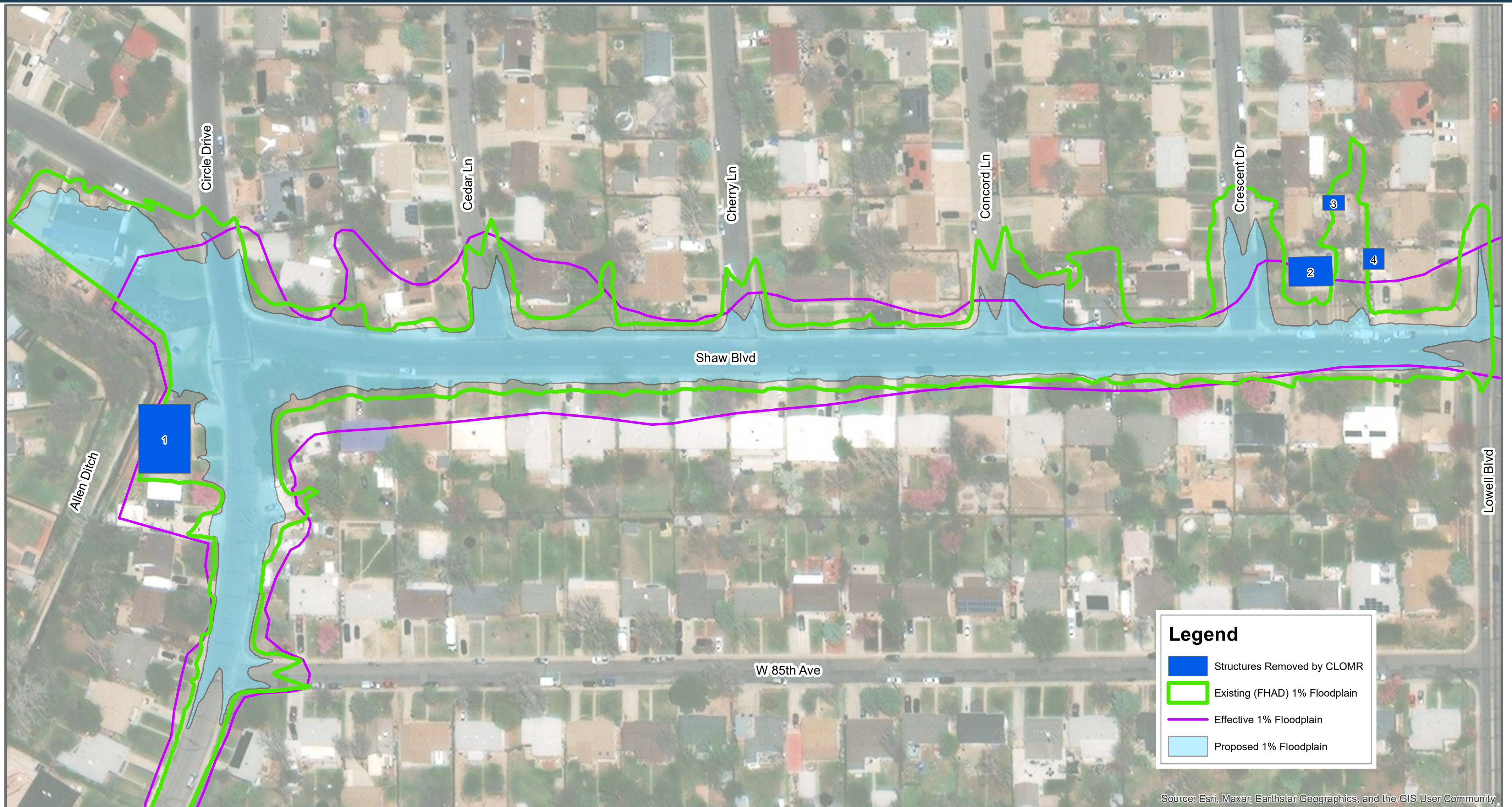
# FLOODPLAIN



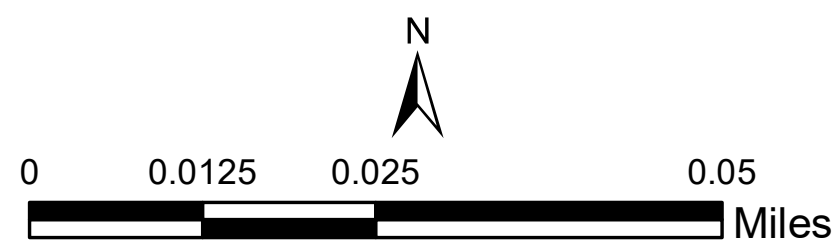
Effective (FEMA recognized) Floodplain and MHFD FHAD Update (existing conditions)



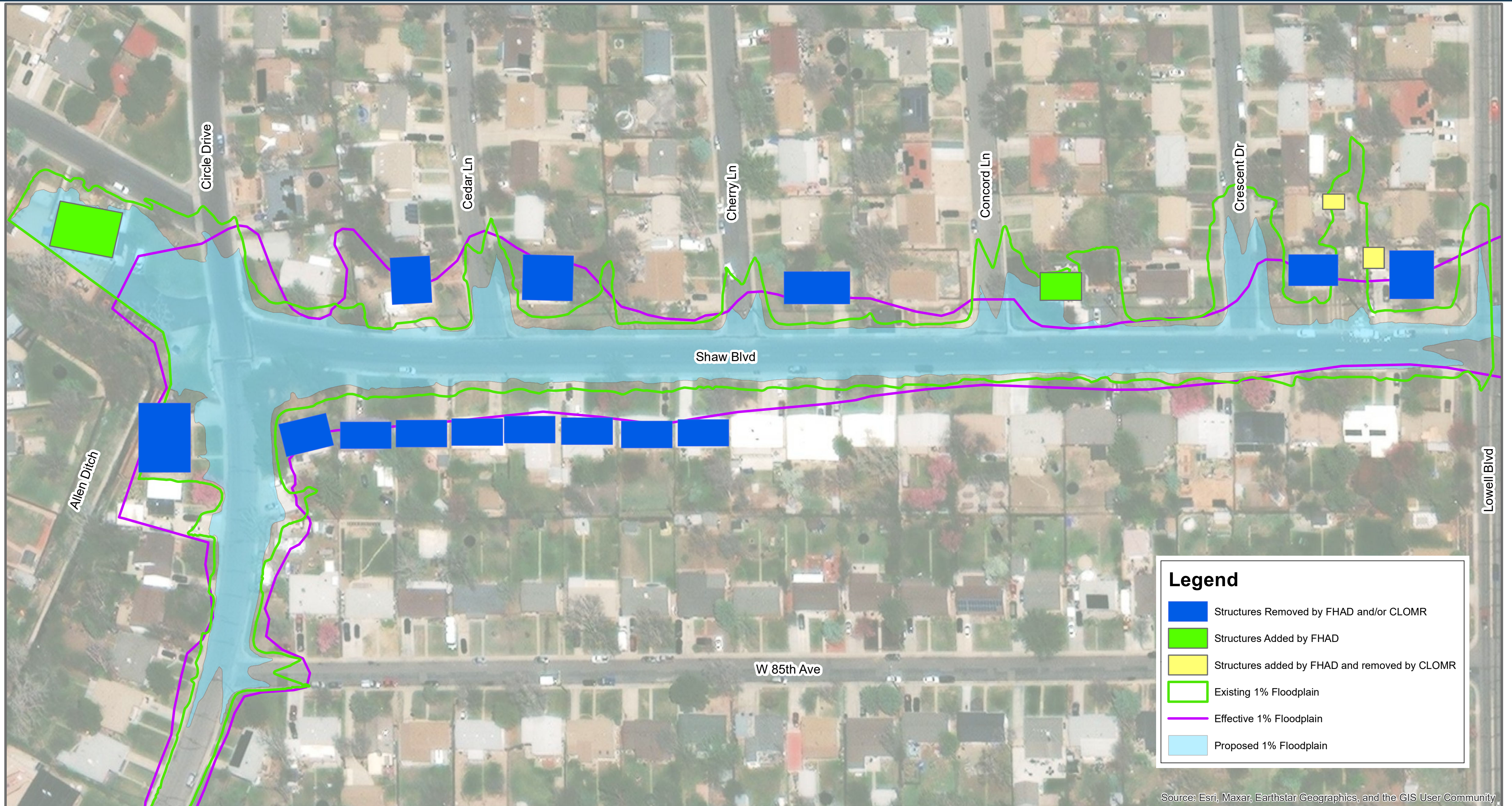
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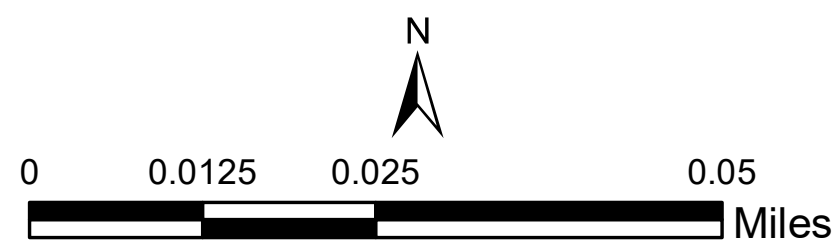
Uplands CLOMR Impacts (proposed conditions),  
Effective (FEMA recognized) Floodplain, and  
MHFD FHAD Update (existing conditions)



# FLOODPLAIN



Summarized Property Impacts  
Uplands CLOMR (proposed conditions),  
Effective (FEMA recognized) Floodplain, and  
MHFD FHAD Update (existing conditions)





# WEST 84TH AVE - A(4)



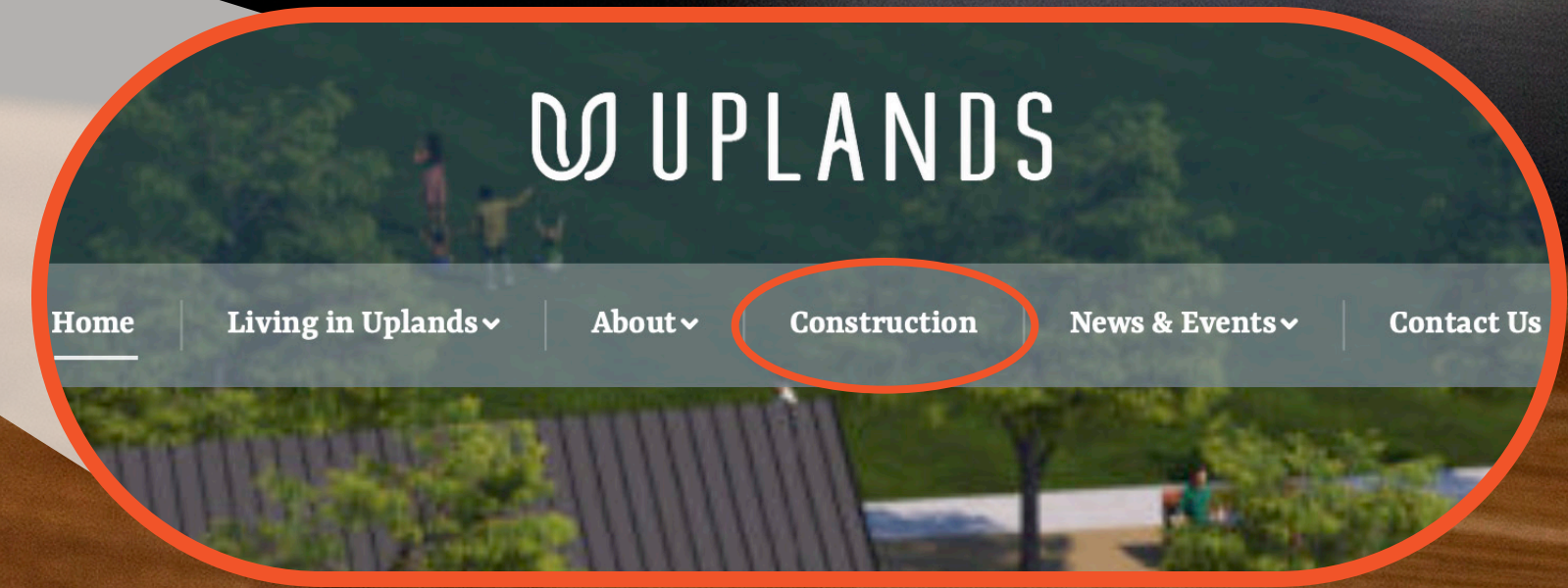
**FEDERAL BLVD - A(5)**



**LOWELL BLVD - A(2)**

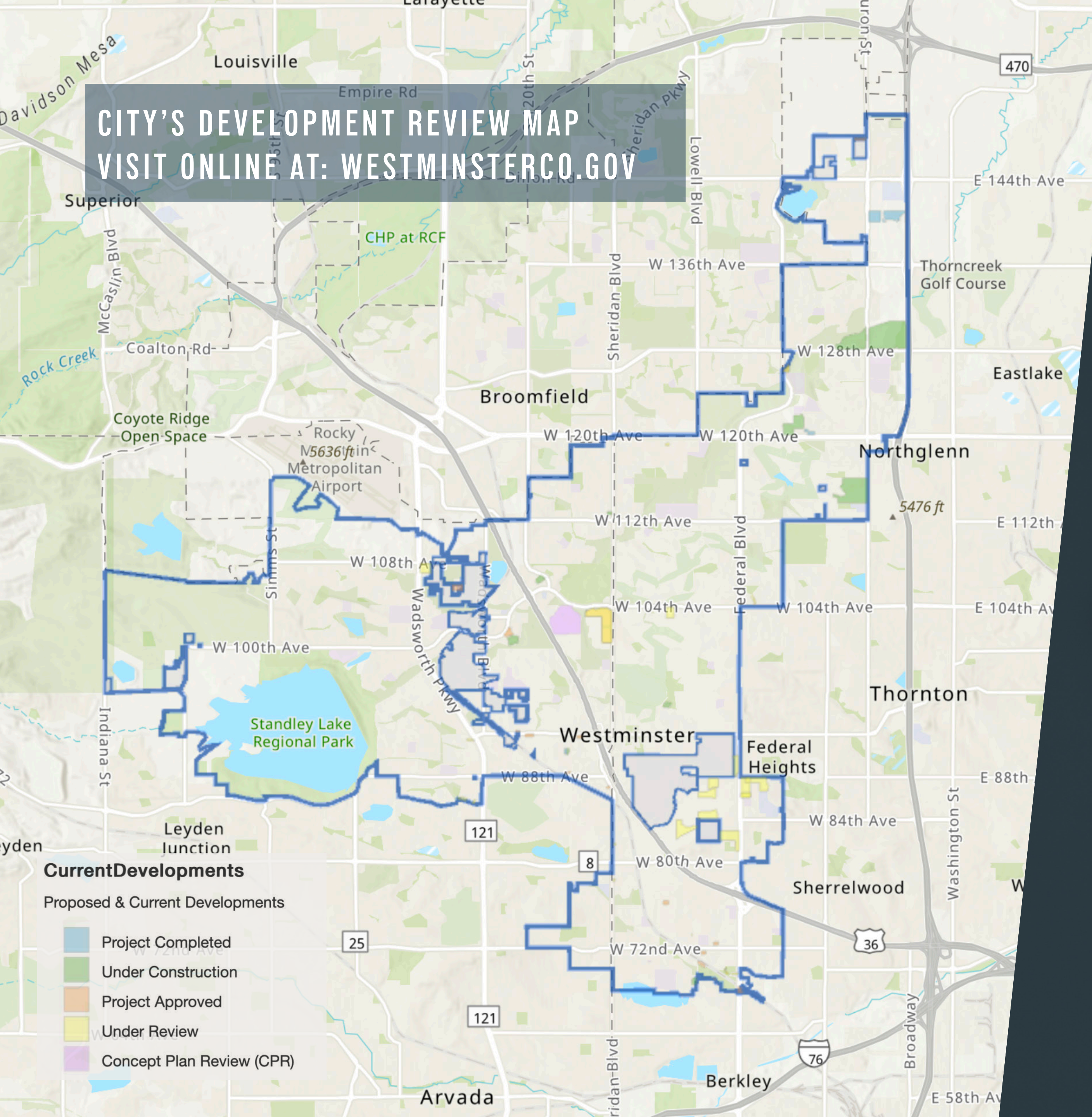


QUESTIONS OR COMMENTS ABOUT CONSTRUCTION?



**U**UPLANDSCOLORADO.COM

CITY'S DEVELOPMENT REVIEW MAP  
VISIT ONLINE AT: WESTMINSTER.CO.GOV



- Current Developments**  
Proposed & Current Developments
- Project Completed
  - Under Construction
  - Project Approved
  - Under Review
  - Concept Plan Review (CPR)

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**UPLANDSCOLORADO.COM**



**MARK YOUR CALENDARS**  
UPCOMING UPLANDS UPDATE MEETINGS

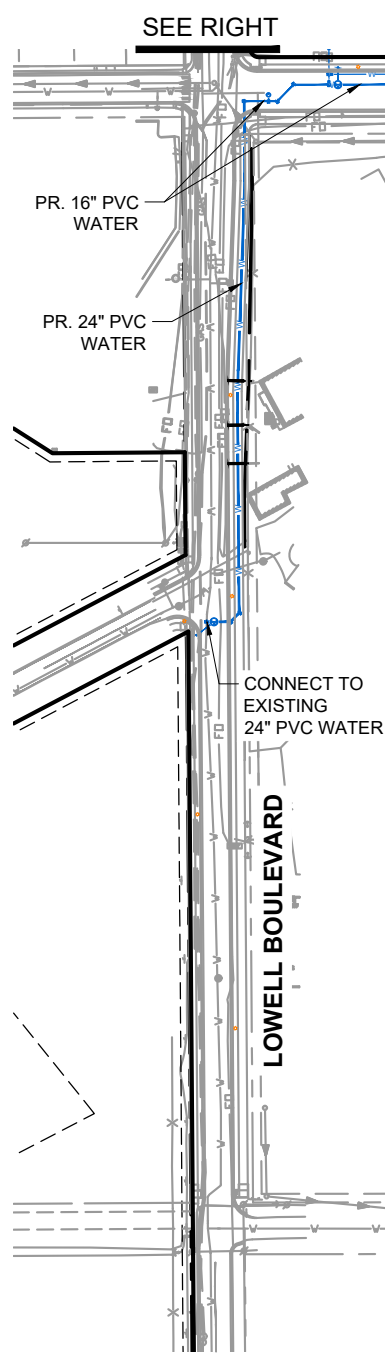
- Thursday 5/23/24
- Thursday 8/22/24
- Thursday 11/21/24

**THANK YOU**  
QUESTIONS?

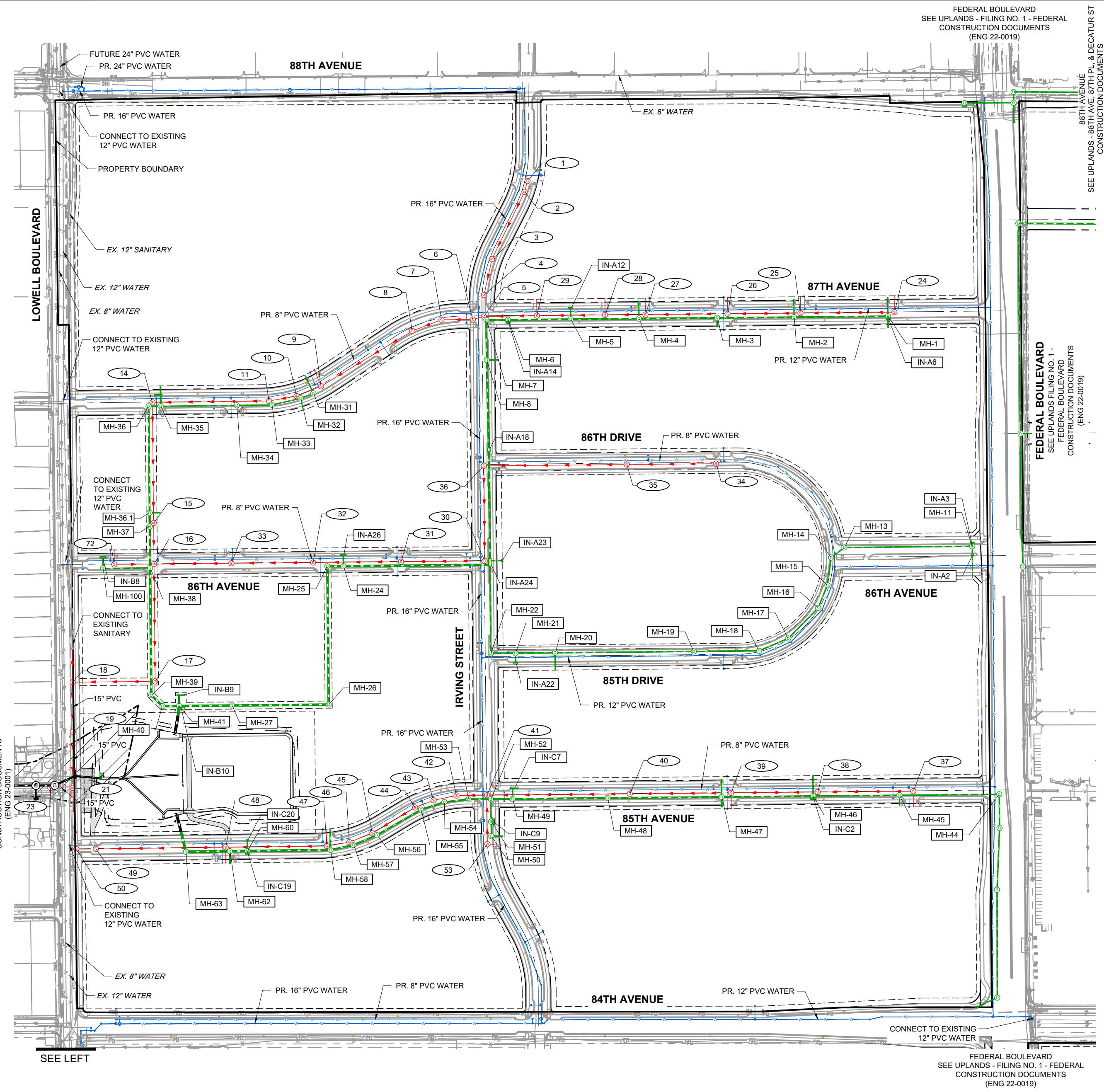
DESIGNS ARE CONCEPTUAL AND SUBJECT TO CHANGE

# BACKUP SLIDES

CAD FILE: J:\2021\10738\CAD\DWG\0101\OUP  
 HR GREEN Xrefs: 00-XC-ROW; 00-XV-SURVEY; 00-XV-BASE; 00-XV-D01; 00-XC-DSGN; XG-Keymap-OUP; 00-nc-ill



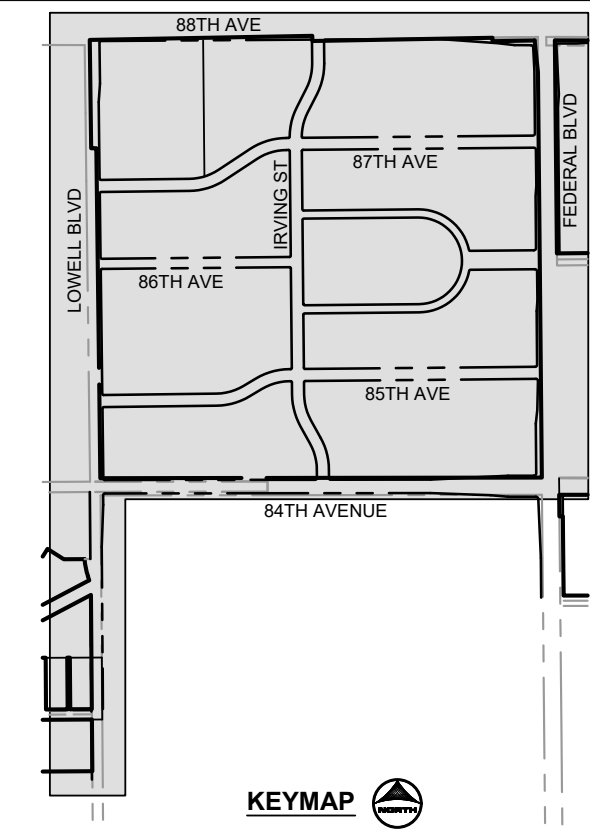
SHAW BOULEVARD  
 SEE UPLANDS - FILING NO. 1 - REGIONAL  
 POND/SHAW BOULEVARD OUTFALL  
 CONSTRUCTION DOCUMENTS  
 (ENG 23-0001)



FEDERAL BOULEVARD  
 SEE UPLANDS - FILING NO. 1 - FEDERAL  
 CONSTRUCTION DOCUMENTS  
 (ENG 22-0019)

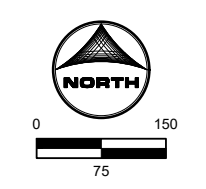
FEDERAL BOULEVARD  
 SEE UPLANDS - FILING NO. 1 -  
 FEDERAL BOULEVARD  
 CONSTRUCTION DOCUMENTS  
 (ENG 22-0019)

FEDERAL BOULEVARD  
 SEE UPLANDS - FILING NO. 1 - FEDERAL  
 CONSTRUCTION DOCUMENTS  
 (ENG 22-0019)



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  - ALL SANITARY SEWER 8" PVC UNLESS OTHERWISE NOTED.
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  - ALL NEW UNDERGROUND FACILITIES, INCLUDING LATERALS, MUST BE ELECTRONICALLY LOCATABLE WHEN INSTALLED.

- CONSTRUCTION LEGEND**
- EASEMENT ————
- PROPOSED WATER — W — W — W
- PROPOSED SANITARY — S — S — S
- SANITARY MANHOLE (S)
- PROPOSED STORM — S — S — S
- PROPOSED POND OUTFALL STORM — S — S — S
- PROPOSED STORM MANHOLE (S)
- PROPOSED LIGHT (L)
- EXISTING WATER — W — W — W
- EXISTING STORM — S — S — S
- EXISTING SANITARY — S — S — S
- EXISTING SANITARY MANHOLE (S)
- (XX) SANITARY SEWER MANHOLE IDENTIFIER
- (MH-X) STORM SEWER MANHOLE IDENTIFIER
- (IN-X) STORM SEWER INLET IDENTIFIER



NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - DENVER  
 5613 DTC PARKWAY  
 SUITE 950  
 GREENWOOD  
 VILLAGE, CO 80111  
 PHONE: 720.602.4999  
 FAX: 719.965.0044



CONSTRUCTION DOCUMENTS  
 OVERALL UTILITY PLAN  
 UPLANDS - FILING NO. 1  
 WESTMINSTER NEIGHBORHOOD MIXED USE, LLC  
 WESTMINSTER, COLORADO

BAR IS ONE INCH ON  
 OFFICIAL DRAWINGS  
 IF NOT ONE INCH,  
 ADJUST SCALE ACCORDINGLY

DRAWN BY: ACC  
 APPROVED: KLH  
 JOB DATE: 01/26/2024  
 JOB NO: 210738

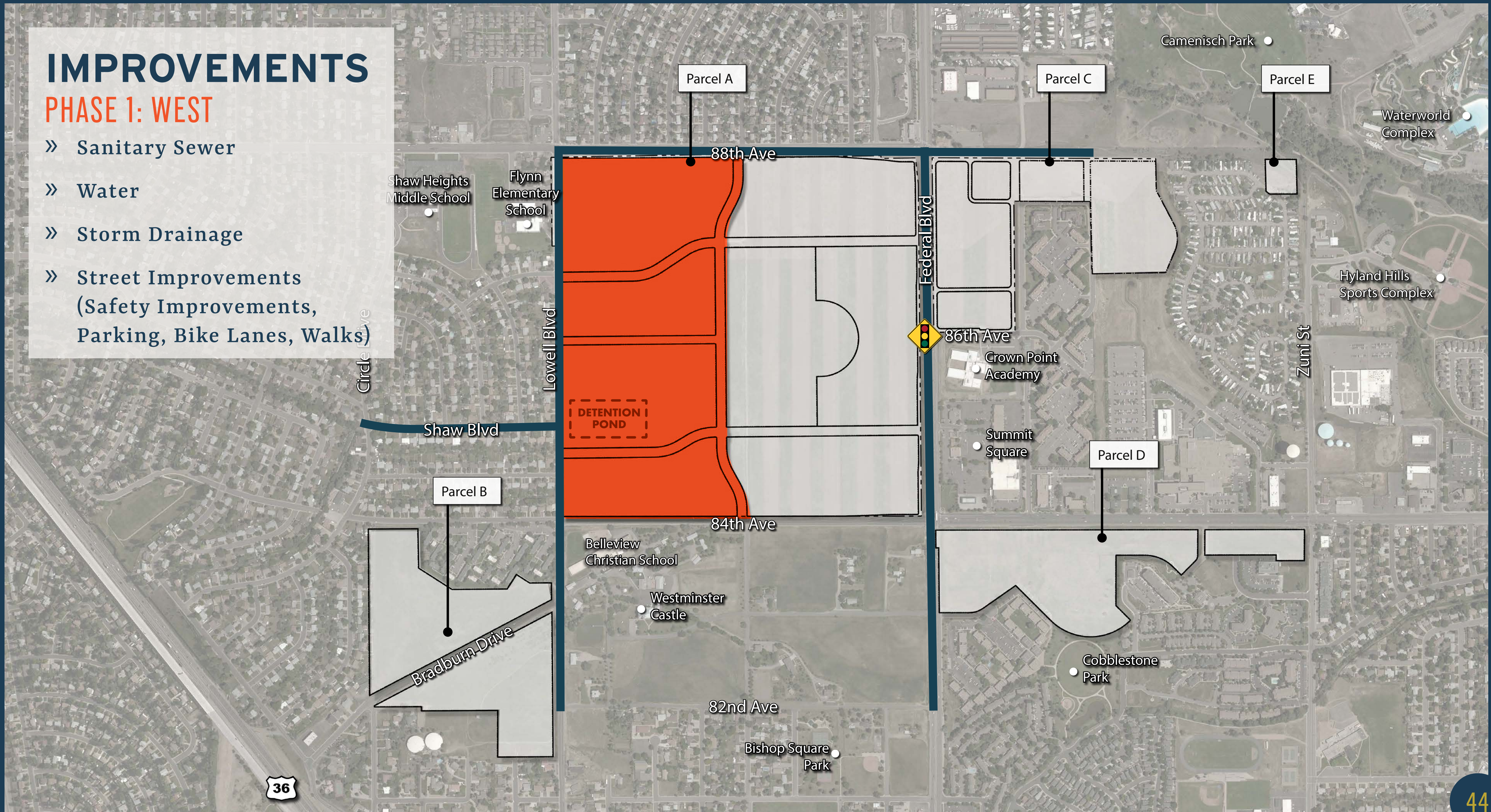
SHEET  
 OU1 11

eTrakit Permit #ENG 22-0014

# IMPROVEMENTS

## PHASE 1: WEST

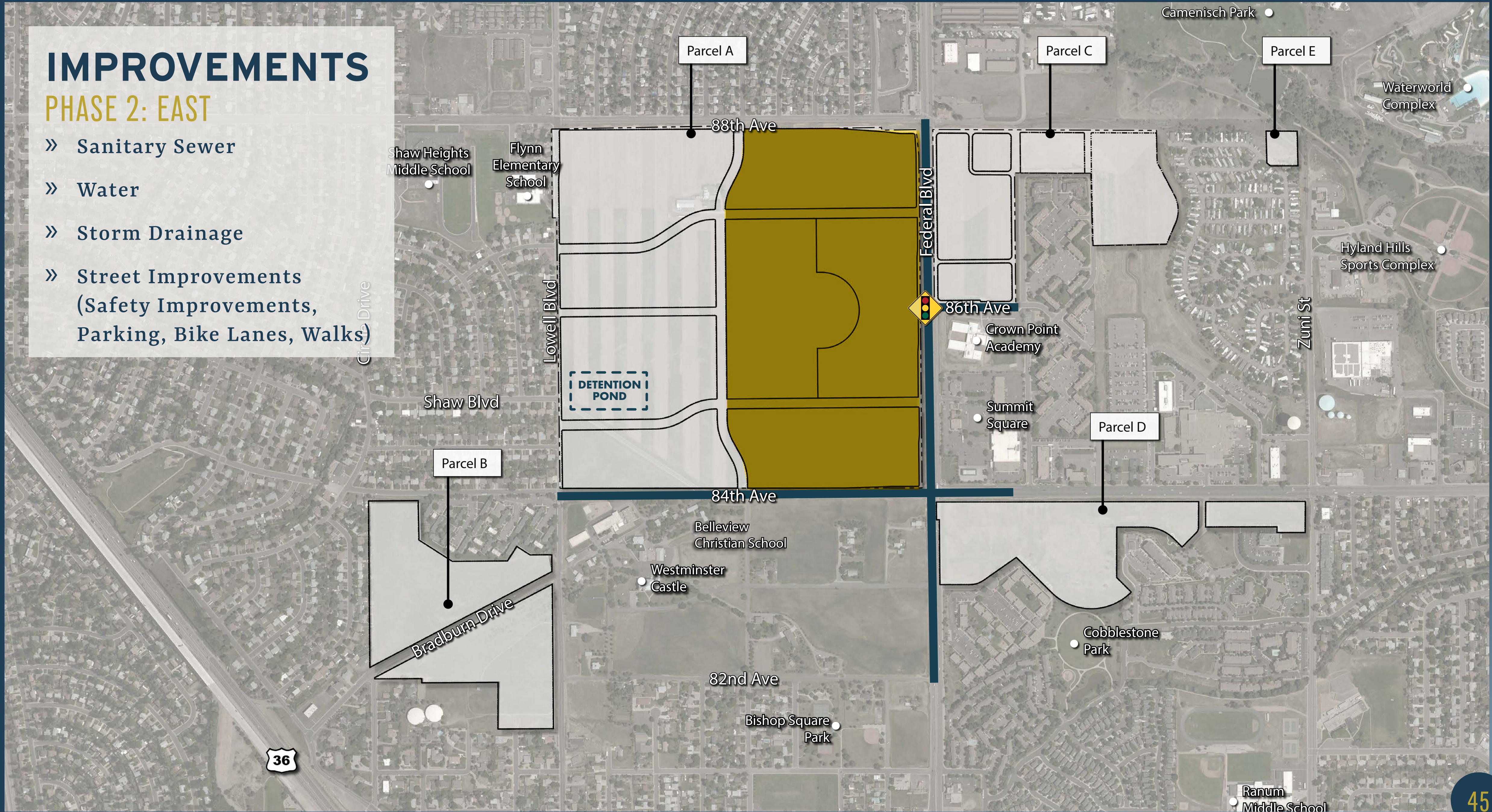
- » Sanitary Sewer
- » Water
- » Storm Drainage
- » Street Improvements (Safety Improvements, Parking, Bike Lanes, Walks)



# IMPROVEMENTS

## PHASE 2: EAST

- » Sanitary Sewer
- » Water
- » Storm Drainage
- » Street Improvements (Safety Improvements, Parking, Bike Lanes, Walks)



# PDP COMMITMENTS:

## Bike and Pedestrian Connectivity

**GAPS IN SIDEWALK NETWORK**   
(WESTMINSTER'S MOBILITY ACTION PLAN - SPRING 2018)



**SIDEWALK GAPS FILLED IN**   
AFTER IMPROVEMENTS

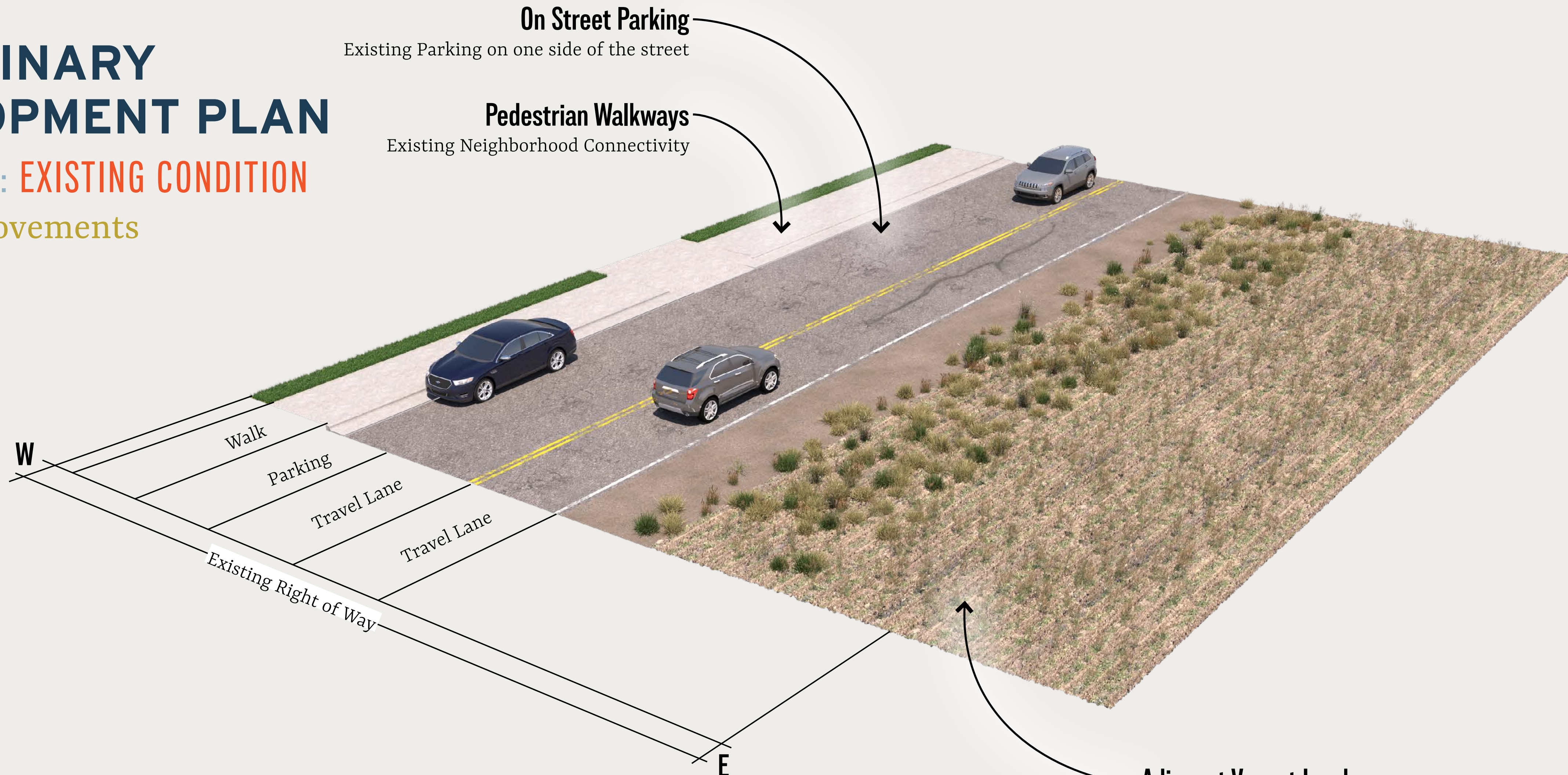


THIS IS COMPLETED WITH PHASE 1/2 IMPROVEMENTS

# PRELIMINARY DEVELOPMENT PLAN

## LOWELL BLVD: EXISTING CONDITION

### Public Improvements



### Adjacent Vacant Land

Pedestrian Connectivity not provided, this section of Roadway does not have Walks or Bike Lanes

	Fall '23	Winter '23/'24	Spring '24	Summer '24	Fall '24	Winter '24/'25
<b>Lowell Blvd</b>						
Utility Construction		█	█	█		
Curb/Gutter/Sidewalks		█	█	█		
Paving				█	█	
Street Lights/Dry Utilities					█	█
Traffic Signals at 84th				█		

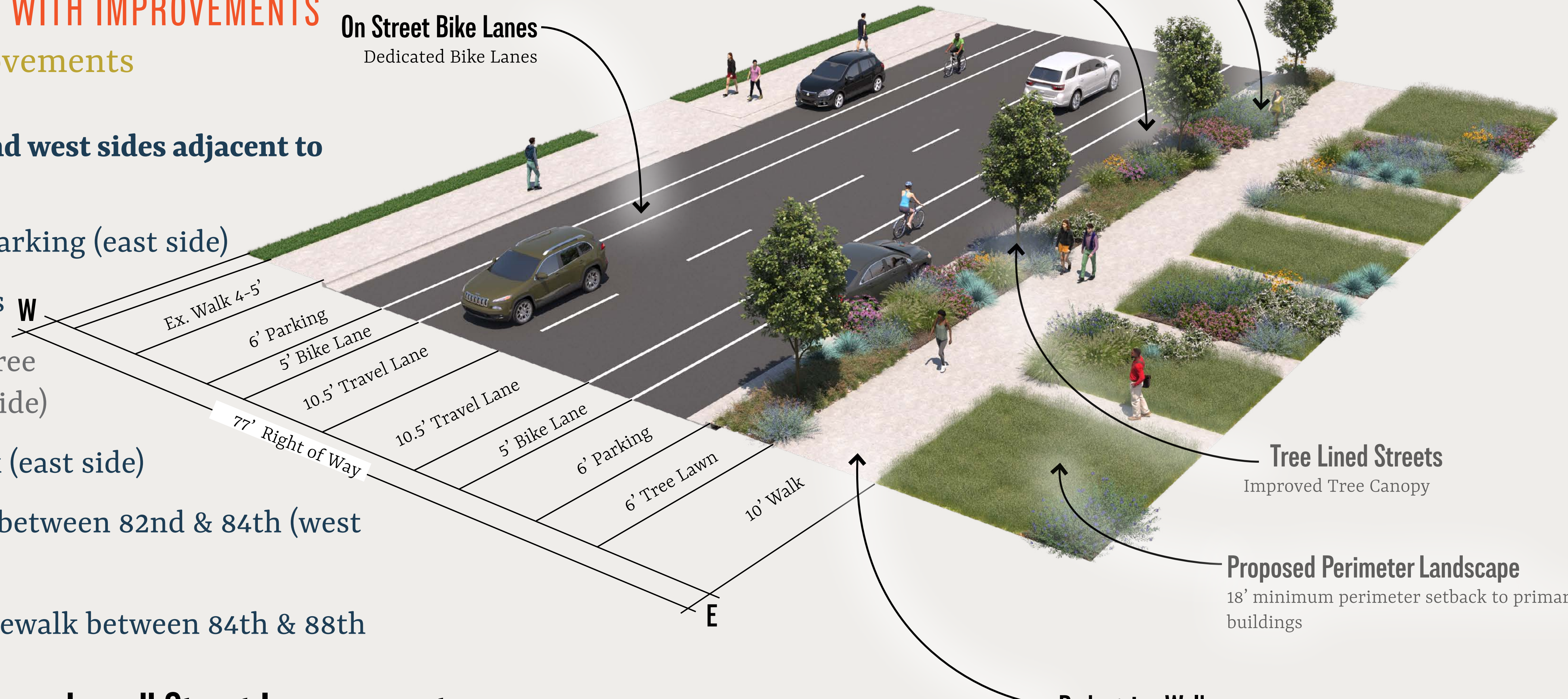
# PRELIMINARY DEVELOPMENT PLAN

## LOWELL BLVD: WITH IMPROVEMENTS

### Public Improvements

Adds to east and west sides adjacent to Uplands:

- » On-street parking (east side)
- » 5' bike lanes **W**
- » 6' planted tree lawn (east side)
- » 10' sidewalk (east side)
- » 8' sidewalk between 82nd & 84th (west side)
- » Existing sidewalk between 84th & 88th (west side)



## Lowell Street Improvements

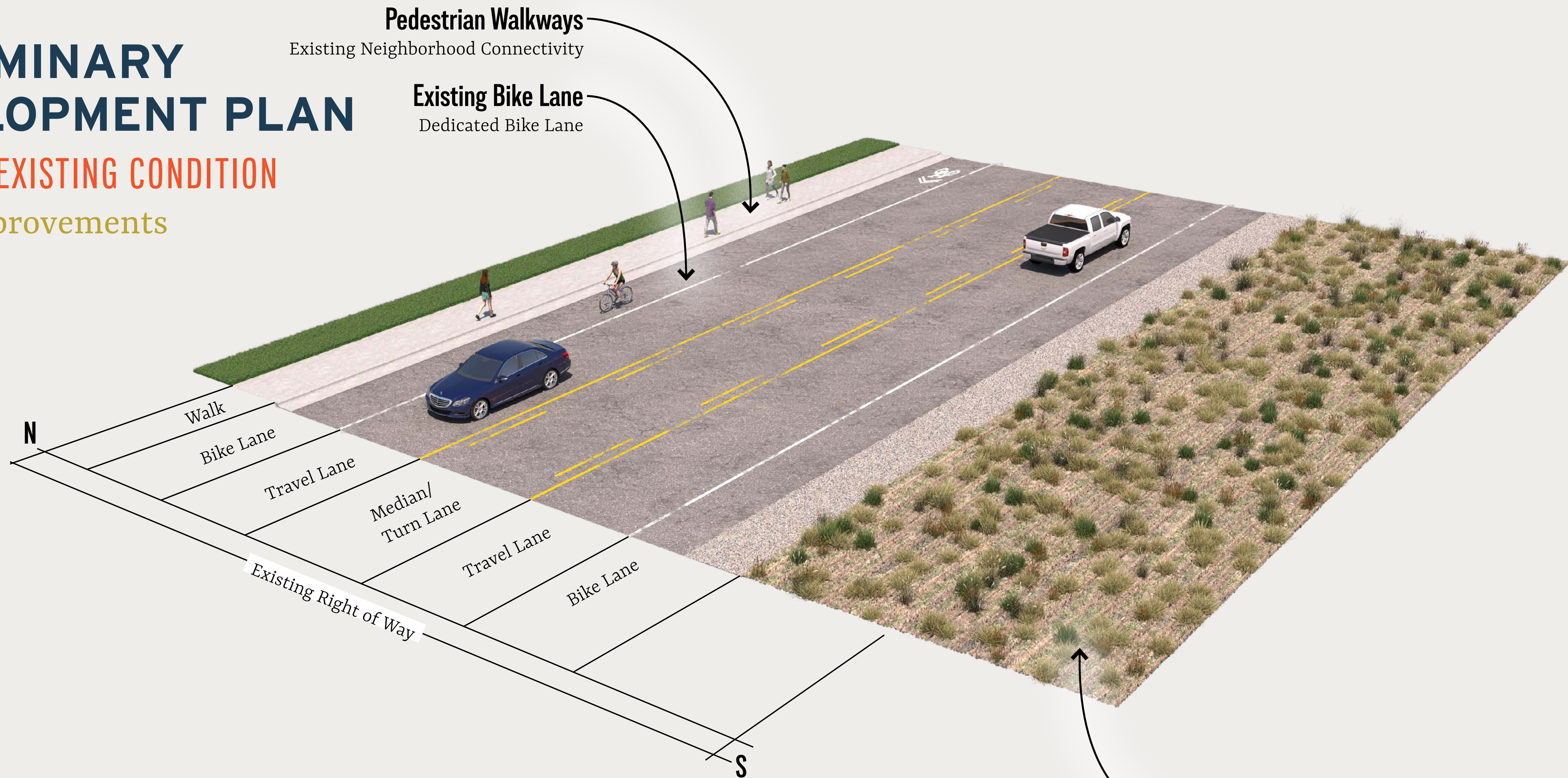
(84th Ave. To 88th Ave.)  
77' Right of Way

Landscape is conceptual and subject to change. Landscape will be installed with adjacent development parcels per Official Development Plans.



# PRELIMINARY DEVELOPMENT PLAN

## 88TH AVE: EXISTING CONDITION Public Improvements



	Fall '23	Winter '23/'24	Spring '24	Summer '24	Fall '24	Winter '24/'25
<b>88th Avenue (West of Federal)</b>						
Utility Construction		█	█	█		
Curb/Gutter/Sidewalks			█	█	█	
Paving				█	█	
Street Lights/Dry Utilities					█	█

1. LOWELL BLVD

2. 88TH AVE

3. FEDERAL AVE

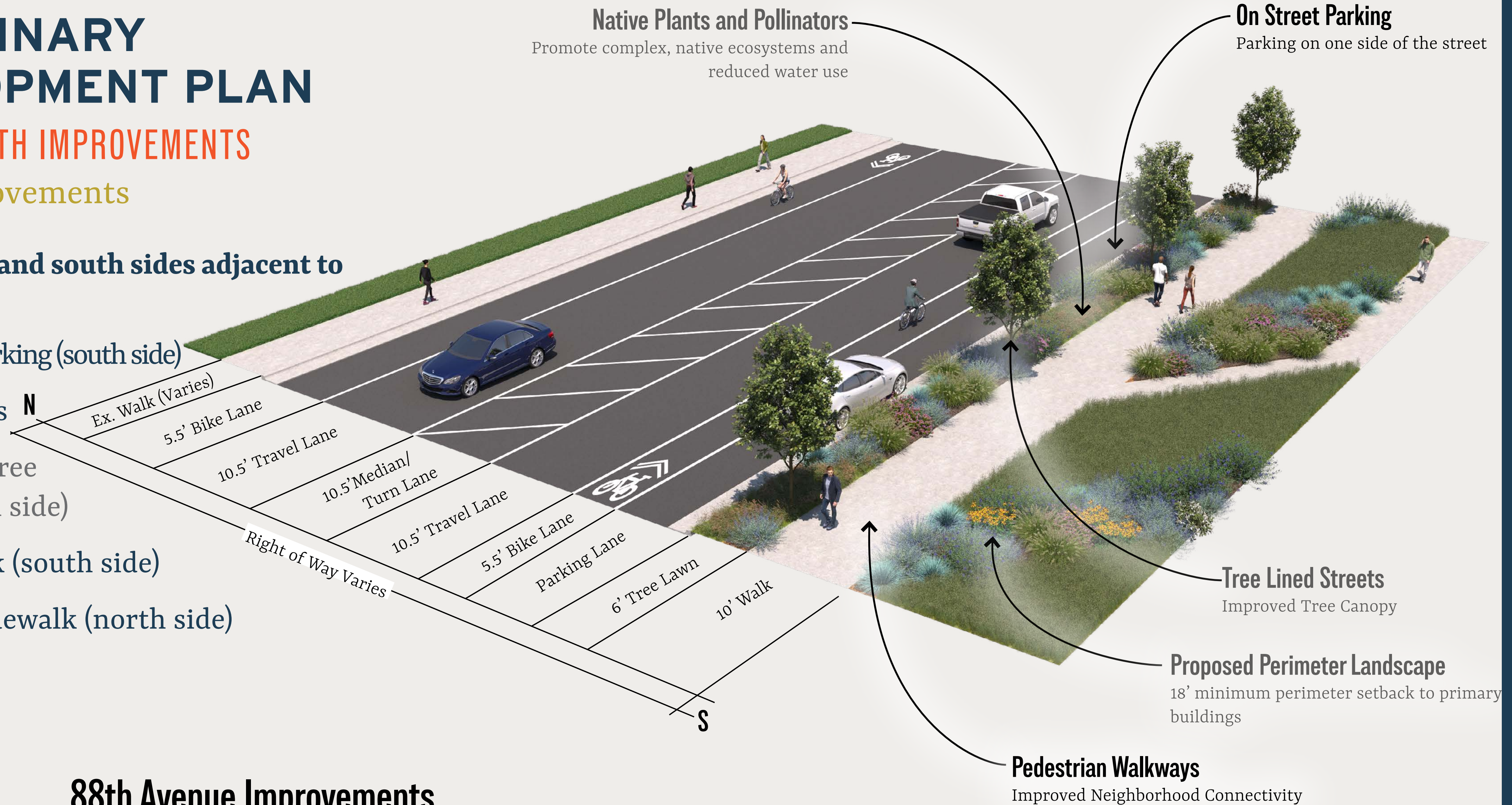
4. 84TH AVE

# PRELIMINARY DEVELOPMENT PLAN

## 88TH AVE: WITH IMPROVEMENTS Public Improvements

Adds to north and south sides adjacent to Uplands:

- » On-street parking (south side)
- » 5' bike lanes
- » 6' planted tree lawn (south side)
- » 10' sidewalk (south side)
- » Existing sidewalk (north side)



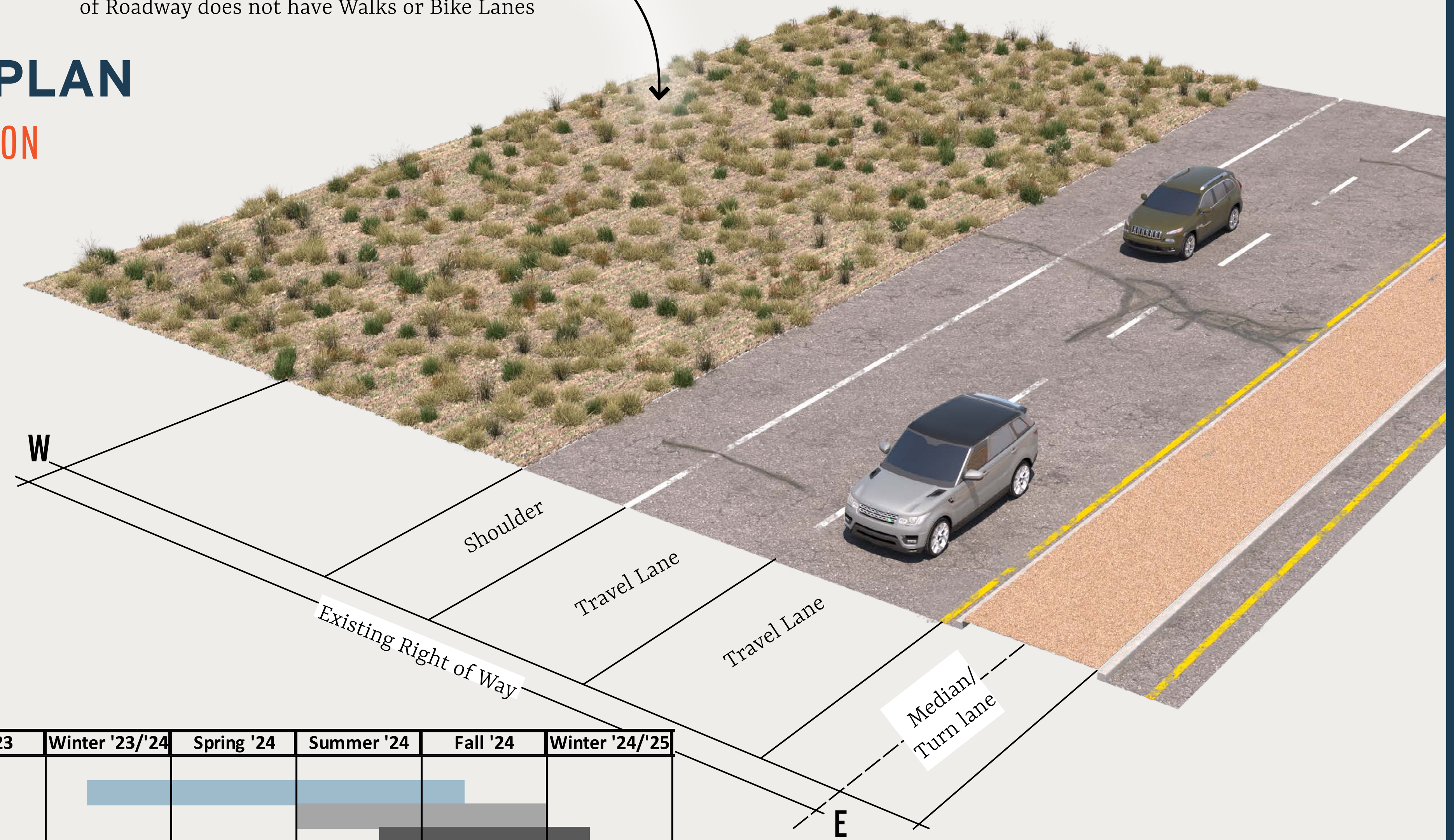
## 88th Avenue Improvements

(Lowell Blvd. to Federal Blvd.)  
Right of Way Varies

# PRELIMINARY DEVELOPMENT PLAN

FEDERAL: EXISTING CONDITION  
Public Improvements

**Adjacent Vacant Land**  
Pedestrian Connectivity not provided, this section of Roadway does not have Walks or Bike Lanes



	Fall '23	Winter '23/'24	Spring '24	Summer '24	Fall '24	Winter '24/'25
<b>Federal Blvd</b>						
Utility Construction		█	█	█	█	
Curb/Gutter/Sidewalks		█	█	█	█	
Paving				█	█	█
Street Lights/Dry Utilities				█	█	█
Traffic Signals				█	█	█

- 1. LOWELL BLVD
- 2. 88TH AVE
- 3. FEDERAL AVE
- 4. 84TH AVE

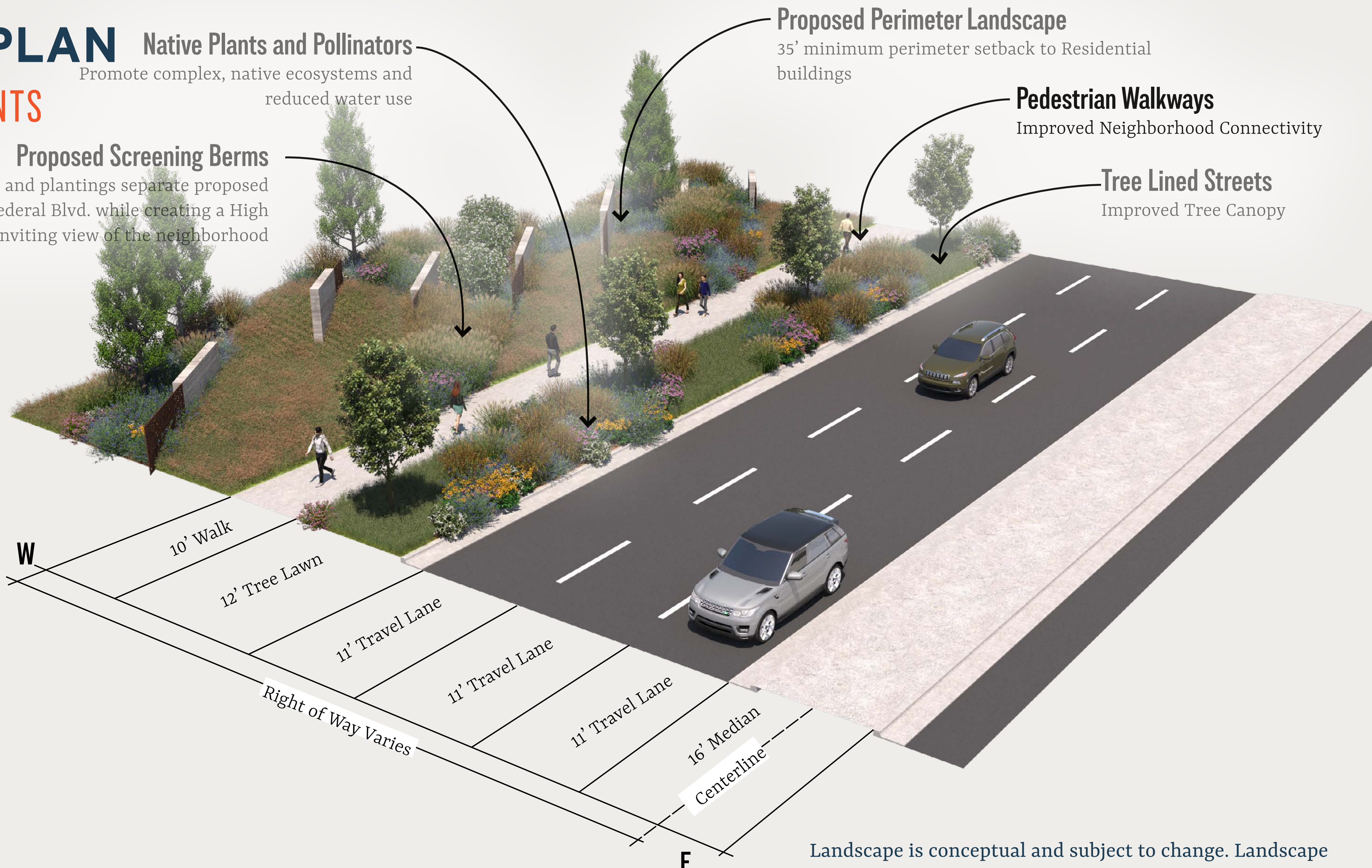
# PRELIMINARY DEVELOPMENT PLAN

## FEDERAL: WITH IMPROVEMENTS

### Public Improvements

#### Adds to east and west sides adjacent to Uplands:

- » Travel/turn lanes
- » 12' planted tree lawn
- » 10' sidewalk (west side)
- » 8' sidewalk (east side)



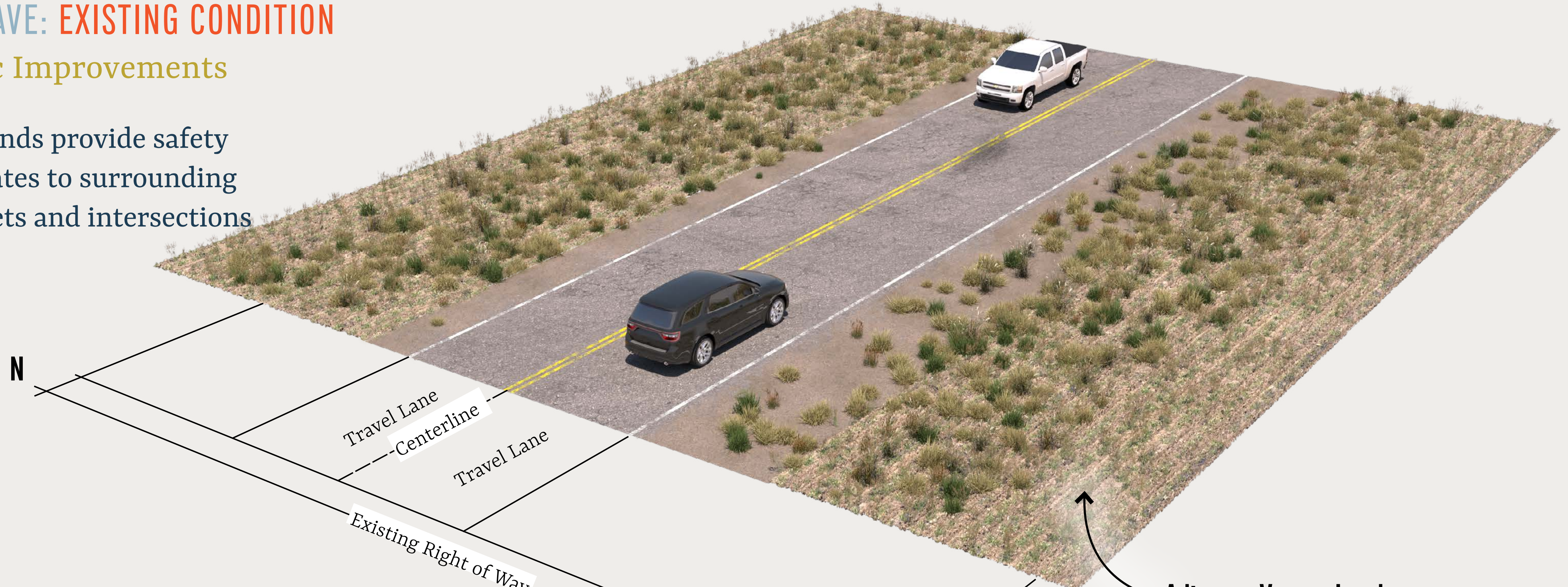
Landscape is conceptual and subject to change. Landscape will be installed with adjacent development parcels per Official Development Plans.

# PRELIMINARY DEVELOPMENT PLAN

## 84TH AVE: EXISTING CONDITION

### Public Improvements

Uplands provide safety updates to surrounding streets and intersections



	Fall '23	Winter '23/'24	Spring '24	Summer '24	Fall '24	Winter '24/'25
<b>84th Avenue</b>						
Utility Construction		█	█	█		
Curb/Gutter/Sidewalks			█	█	█	
Paving				█	█	
Street Lights/Dry Utilities					█	█

### Adjacent Vacant Land

Pedestrian Connectivity not provided, this section of Roadway does not have Walks or Bike Lanes

# PRELIMINARY DEVELOPMENT PLAN

## 84TH AVE: WITH IMPROVEMENTS Public Improvements

**On Street Bike Lanes**  
Dedicated Bike Lanes

**On Street Parking**  
Parking on both sides of the street

**Proposed Perimeter Landscape**  
15' minimum perimeter setback to primary buildings

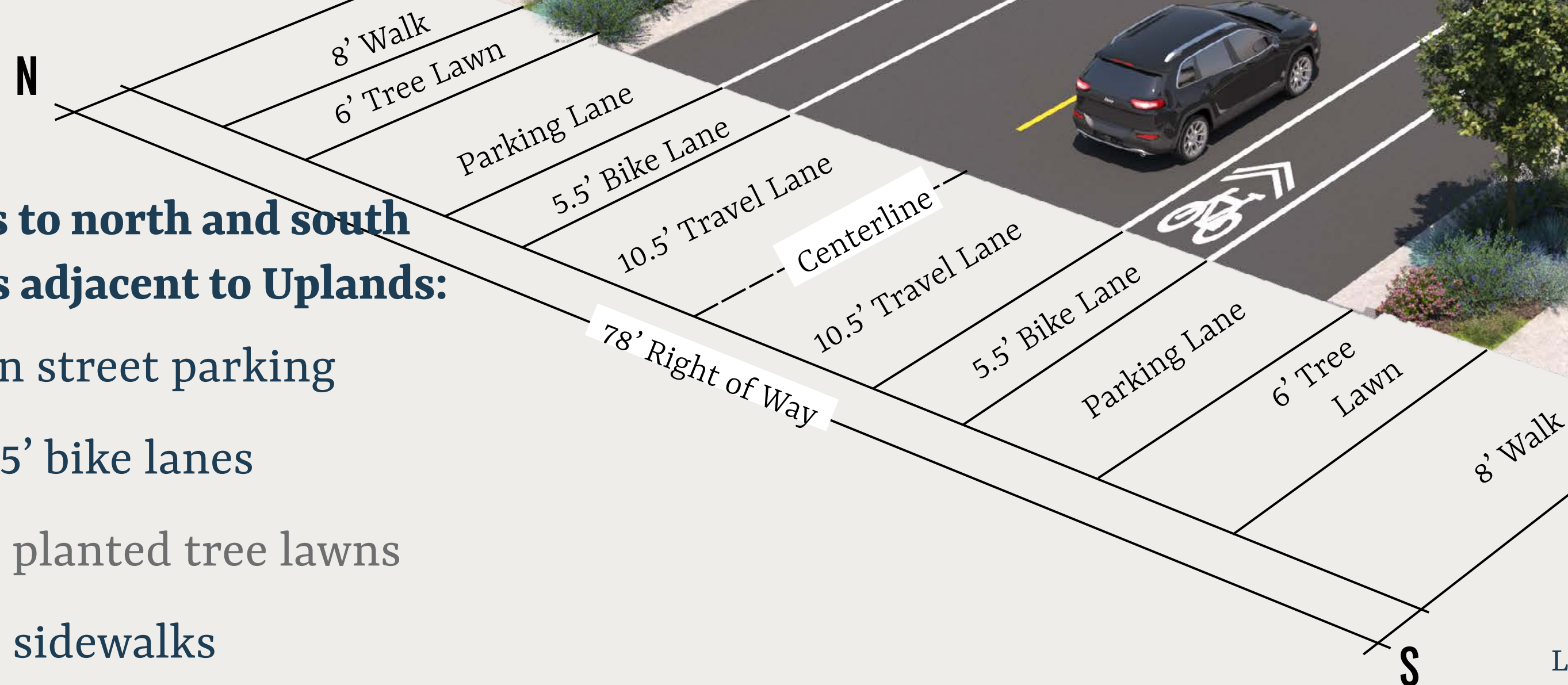
**Tree Lined Streets**  
Improved Tree Canopy

**Native Plants and Pollinators**  
Promote complex, native ecosystems and reduced water use

**Pedestrian Walkways**  
Improved Neighborhood Connectivity

### Adds to north and south sides adjacent to Uplands:

- » On street parking
- » 5.5' bike lanes
- » 6' planted tree lawns
- » 8' sidewalks



Landscape is conceptual and subject to change. Landscape will be installed with adjacent development parcels per Official Development Plans.

# ENVIRONMENTAL

## ➤ ENVIRONMENTAL SITE ASSESSMENTS

- Phase I
  - Completed a Phase I ESA for the entire Uplands site
  - Identified the northwest corner of Parcel A for additional study
- Phase II
  - Completed a Phase II ESA for the northwest corner of Parcel A

## ➤ FINDINGS & RECOMMENDATIONS

- Findings:
  - Elevated levels of VOCs (Volatile Organic Compounds) in northwest corner of Uplands community
- Recommendations:
  - If buildings are proposed in northwest corner: vapor mitigation system (similar to a radon collection system) is recommended to be installed for any future buildings
  - If no buildings are proposed in the northwest corner: no further action or mitigation efforts are recommended